

CITY OF RAYTOWN
PLANNING & ZONING COMMISSION
AGENDA

Raytown City Hall
Board of Aldermen Chambers
10000 East 59th Street
Raytown, Missouri 64133
March 4, 2021
7:00 pm

BY VIDEO CONFERENCE

In response to the current Jackson County COVID-19 Order, this meeting will be held by on-line video conference. A video recording of the Planning Commission meeting will be available within 48 hours on the City's website. For additional questions, please contact City Planning and Zoning Staff at (816) 737-6059.

Individuals wishing to make Public Comments at the Planning Commission meeting should contact Chris Gilbert at chrsg@raytown.mo.us or (816) 737-6059 by 10:00 am, March 4, 2021, to obtain the on-line video information.

Here is the Zoom Meeting Connection Information:

Zoom.us/join
Meeting ID: 969 6437 0019
Passcode: 906976

1. Welcome by Chairperson

Please welcome new member Alderman Frank Hunt to the Planning Commission. A copy of the Resolution approving his appointment is attached to this agenda.

2. Call meeting to order and Roll Call

Wilson:	Thurman:	Emerson:
Hunt:	Frazier:	Stock:

3. Approval of January 7, 2021, Regular Meeting Minutes

- a) Revisions
- b) Motion
- c) Second
- d) Additional Board Discussion
- e) Vote

4. Old Business – None.

5. New Business -

A. Case No.: PZ-2021-01

Applicant: Michael Williams of RAGA Properties

Reason: Approval of a Planned District Development Plan for Logan Villas, to be generally located in the 7300 to 7400 Block of Maple Drive in an R-P-3 Zone.

- 1. Introduction of Application by Chair and Open Public Hearing
- 2. Swearing in of all speakers by City Attorney that plan to give testimony during hearing
- 3. Explanation of any exparte' communication from Commission members regarding the application
- 4. Enter Additional Relevant City Exhibits into the Record:
 - a. Staff report
 - b. Application Supporting Documents
- 5. Presentation of Application by Applicant
- 6. Analysis of Application by Staff.
- 7. Request for Public Comment by Chairman
- 8. Additional Staff Comments and Recommendation
- 9. Consider Closing Public hearing and Commission Discussion
- 10. Commission Decision to Approve, Conditionally Approve or Deny the Application
 - a. Motion
 - b. Second
 - c. Additional Board Discussion
 - d. Vote

6. Other Business- None.

7. Set Future Meeting Date – Next Regular Meeting, Thursday, April 1, 2021, at 7:00 PM.

9. Adjourn

RESOLUTION NO.: R-3358-21

A RESOLUTION AUTHORIZING AND APPROVING THE APPOINTMENT OF FRANK HUNT TO THE PLANNING & ZONING COMMISSION

WHEREAS, the Raytown Planning & Zoning Commission was established pursuant to Ordinance 139 which provides for the appointment of nine (9) Planning & Zoning Commission members appointed by the Mayor with the approval of the Board of Aldermen; and


WHEREAS, the Mayor desires to appoint Frank Hunt to fulfill the remainder of an unexpired four-year term on the Planning & Zoning Commission, with such term expiring June 1, 2022 or until a successor is duly appointed; and

WHEREAS, the Board of Aldermen find it is in the best interest of the City to approve such appointment as proposed by the Mayor;

NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF RAYTOWN, MISSOURI, AS FOLLOWS:

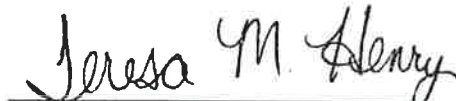
THAT Frank Hunt, 8814 E 72nd Street, Raytown, Missouri, is hereby appointed as a member of the Planning & Zoning Commission to an unexpired 4-year term ending June 1, 2022, or until a successor is duly appointed.

PASSED AND ADOPTED by the Board of Aldermen and **APPROVED** by the Mayor of the City of Raytown, Missouri, the 16th day February, 2021.



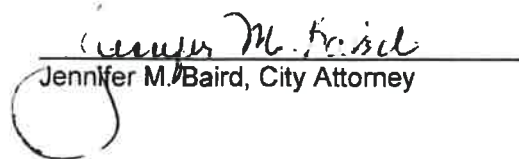
Michael McDonough, Mayor

ATTEST:



Teresa M. Henry, City Clerk

Approved as to Form:



Jennifer M. Baird, City Attorney

**CITY OF RAYTOWN
PLANNING & ZONING COMMISSION
REGULAR MEETING
MINUTES**

January 7, 2021
7:00 pm

SPECIAL NOTE: Meeting was Held Remotely on Zoom due to Continuing COVID-19 Pandemic. Everyone From the Public that Wished to Participate was Granted Access and Had an Opportunity to Speak During the Meeting.

1. Welcome by Chairman Wilson

2. Call meeting to order and Roll Call.

Wilson:	Present	Thurman:	Present	Emerson:	Present
Stock:	Present	Frazier:	Present	Robinson:	Absent

3. Approval of Minutes: Minutes of December 3, 2020, approved 5-0 upon motion by Ms. Stock and second by Ms. Emerson, including a correction on page 3 to change motion maker from Ms. Stock to Mr. Frazier to recommend approval of case.

4. Old Business

A. Case No.: PZ 2020-10: Conditional Use Permit for an “Assembly” Use for Dance Instruction and Event Space for The Event Palace, to be located at 6217-19 Blue Ridge Blvd. in the Raytown Plaza Shopping Center in a Neighborhood Commercial (NC) zone.

1. Introduction of Application by Chairman.

Chairman Wilson opened the public hearing and introduced the application. All persons providing testimony were sworn in by Jennifer Baird, City Attorney.

2. Explanation of any Ex Parte Communications Regarding the Application.

No commissioners reported Ex Parte communications with the applicant regarding this application.

3. Enter Relevant Exhibits into the Record.

Chairman Wilson entered the staff report into the record as an exhibit.

4. Staff Presentation of proposed Text Amendments.

Chris Gilbert, Planning & Zoning Coordinator provided the staff report, reviewing the location of the application, surrounding zoning and uses of property and addressed all the criteria required for a Conditional Use Permit to be issued.

5. Request for Public Comment by Chairman.

Chairman Wilson asked if anyone was present to speak on this application.

Amia Walker and Miesha Ross spoke as the applicants, providing information on the operations of dance instruction academy and event space including what activities will be hosted. No persons from the general public spoke at the hearing, but a single email received from a neighboring business was brought up that identified some concerns about the proposed project.

6. Commission Discussion.

The commissioners asked some questions of the applicants. A discussion took place regarding liquor licensing and providing for security if liquor is served, in addition to discussion regarding hours of operation and number of people in the building for events. The applicants agreed to all staff conditions, including additional conditions that were to be added.

7. Commission Decision to Approve, Conditionally Approve, or Deny Application.

Chris Gilbert provided the staff recommendation to recommend approval of the application to the Board of Aldermen with the conditions as listed in the staff report plus any additional conditions the Planning Commission wishes to add.

Ms. Stock moved and Ms. Emerson seconded to recommend approval to the Board of Aldermen with all conditions contained in the staff report plus two additional conditions:

1. Maximum occupancy limited to 150 persons.
2. Hired Security be provided for events where alcohol is served.

VOTE: Motion passed 5-0.

5. Other Business- Planning Commission Annual Meeting

A. Election of Officers. The Planning Commission elected its officers for 2021 as follows:

Ms. Stock moved and Ms. Emerson seconded to nominate Kevin Wilson to continue as Chairman of the Planning Commission. The motion passed 4-0-1 with Commissioner Wilson abstaining.

Ms. Stock moved and Ms. Thurman seconded to nominate David Frazier as Vice-Chairman of the Planning Commission. The motion passed 4-0-1 with Commissioner Frazier abstaining.

Mr. Frazier moved and Mr. Wilson seconded to nominate DeeAnn Stock to continue as Secretary of the Planning Commission. The motion passed 4-0-1 with Commissioner Stock abstaining.

B. Legal Briefing on Planning Commission Duties and Responsibilities.

City Attorney Jennifer Baird provided the legal briefing PowerPoint presentation going over the history of zoning, what types of matters Planning Commissioners review and what their powers are in relation to the matters under their purview.

C. Briefing on the Path of a Typical Application from Filing of the Application to Ordinance.

Planning and Zoning Coordinator Chris Gilbert provided the briefing explaining the numerous steps involved in the review of a Planning Commission application, using a Conditional Use Permit as the application type since so many cases reviewed by the Planning Commission are of this variety.

- 6. Set Future Meeting Date – Next regular meeting on March 4, 2021.** The February 4, 2021, meeting is cancelled with no business scheduled to go before the Planning Commission.
- 7. Adjourn at 9:35 upon motion by Ms. Emerson and second by Mr. Frazier. Passed unanimously by acclamation.**



Staff Report

Community Development
Planning and Development Services

PZ 2021-01

To: City of Raytown Planning and Zoning Commission

From: Chris Gilbert, Planning & Zoning Coordinator

Date: March 4, 2021

Re: Application for Approval of a Planned District Development Plan for Logan Villas, to be generally located Generally in the 7300-7400 Block of Maple Drive in an R-P-3 Zone.

APPLICATION SUMMARY AND HISTORY

Applicant: Michael Williams of RAGA Properties of Springfield, Missouri

Property Owner: Logan Villas, LP

Property Location: Approximately 7300 to 7400 Block of maple Drive adjacent to, and to the north of, the Elliott Place Assisted Living Development

Request: Development Plan Approval

The Partners Stark Assisted Living Development Plan was approved in 1996-1997 by the City and included 3 phases of the project, all within an R-P-3, Planned High Density Residential District. Phase 1 was fully constructed as well as the private street known as Maple Drive and some utility infrastructure for the future two phases. Phase 2 and Phase 3 were never built, although a small portion of the Phase 1 area was later carved off in 2006 to provide space for a REAP facility and a future park facility. In 2020, RAGA Properties, the developer for Logan Villas, expressed interest in placing a 50-unit independent living senior housing development in these unbuilt Phase 2 and Phase 3 areas. RAGA Properties received a letter of support (Resolution approved October 20, 2020) for the project from the Board of Aldermen that was used to help win Missouri Housing Development Commission tax credits for the proposed project. These MHDC credits were awarded in December, 2020, and the developer immediately met with staff and retained professional services to produce the development plan and engineered drawings for Logan Villas.

Staff has already reviewed and commented on the submitted plan and engineered drawings so the plans included in this packet as attachments substantially represent what the final product will look like even though some outstanding minor issues still need to be worked out with the engineers. The applicant has made substantial effort to work with the operators of Elliott Place to ensure that Logan Villas

GENERAL ZONING INFORMATION

Property's Zoning Classification	Planned High Density Residential (R-P-3)
Surrounding Properties' Zoning	R-1 Low Density Residential to the West, R-2 Medium Density Residential to the North, HC, Highway Commercial to the East, and R-P-3 High Density Residential to the South
Surrounding Overlay	Planned Overlay, 350 Highway Corridor Overlay
Surrounding Land Use	Single Family Residential Dwellings to the West and North (some Duplexes), New Car Dealership to the East, Elliott Place Assisted Living Development to the South
Designated Future Land Use	Two Family Residential Prior to Elliott Place PD rezoning.
Ward	Ward 1
Approximate Land Area	10.7 Acres
Roadway Classification	Internal Private, connecting to 350 Highway to North and Residential to South (75 th Street)



Figure 1 – Surrounding Zoning Map

SITE DESCRIPTION AND PRESENT USE

The subject location is on a private street, Maple Drive, connecting 75th Street to the south to Highway 350 to the north. Only the portion through Elliott Place and the proposed Logan Villas is private. The present use of the property is vacant undeveloped land.



Staff Report

Community Development
Planning and Development Services

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The proposed Logan Villas project neighbors the Gregory Heights single family residential neighborhood to the west, residential single and two family homes to the north, a new car dealership on 350 Highway to the east, and the existing Elliott Place to the south.

PUBLIC COMMENTS

The public notice was published in *The Daily Record* on February 16, 2021. Public notice letters were sent to property owners within 185 feet of the property by the applicant. The Neighborhood Information Meeting was held on February 18, 2021, and a synopsis of the meeting discussions is attached. To date, the Community Development Department has received no additional communications regarding this application. The property was posted with a Public Hearing Notice Sign stating the hearing date.

ANALYSIS

The subject property to be occupied by Logan Villas is a 10.7 acre undeveloped tract of land already properly zoned for the proposed senior independent living units. Because the zone is R-P-3 however, a development plan is required to be approved by the City through the public hearing process per Section 50-306 of the Raytown Zoning Ordinance. This development plan, once approved, must substantially conform with the final detailed drawings submitted for approval or it has to go back through the hearing process to be amended. Since the attached plan has already had substantial changes made to it through the internal staff review process, this plan is believed to be really close to what the final approved version will look like. Following is an analysis of the enclosed Plan's compliance with the PD, Planned Zoning Overlay District standards:

Sec. 50-306. - Purpose and intent.

Any of the zoning districts designated in section 50-103 of these regulations may be designated as a "Planned District" by adding thereto the designation "P," such as R-P-1. The "P" designation may be affixed to a district at the applicant's request or by the board of aldermen on its own initiative. When such a designation is affixed to a district, the owner or developer of such land shall submit a development plan to the planning commission that must be approved by the board of aldermen before the land may be developed. The general procedures of these regulations relating to zoning amendments shall be followed in a Planned District. A Planned District shall provide for and encourage latitude and flexibility in the location of buildings, structures, roads, drives, variations in yards, open spaces and uses subject to approval of the plan by the board of aldermen.

(Comp. Ord. of 4-20-2010, § 16-1)

Staff Response: The property is already zoned R-P-3, so a zoning amendment to the property is not necessary, however, the approval of a Development Plan is. Since the property is under new ownership from the various owners related to the existing and adjacent Elliott Place Assisted Senior Living Development, the future planned Phase 2 and Phase 3, 72-unit, Assisted Senior Living portion of the Elliott Place project will now never be built and the Development Plan is required to be replaced with a new Plan based upon the applicant's Logan Villas concept of 50 units of Independent Senior Living. This Plan is attached and submitted for your review.



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The attached Development Plan is not required to meet the 350 Highway Corridor Overlay standards as the Planned District is itself an Overlay District and provides a built-in level of discretion for the Planning Commission and Board of Aldermen to approve a unique and appropriate development for the particular area, as stated above in Zoning Ordinance Section 50-306. That being said, staff believes that the overall development meets or exceeds the minimum development standards of the 350 Highway Corridor Overlay as well.

Sec. 50-307. - General provisions.

(a) The proponents of a planned development shall prepare and submit to the planning commission, for review and approval by the board of aldermen for the purpose of rezoning, a development plan with at least the following elements:

- (1) The boundaries of the area to be rezoned and the development of property adjacent to the area and within 200 feet thereof.
- (2) The materials, color, lighting, landscaping and drainage associated with the proposed development.
- (3) Proposed specific uses, location, number and arrangement of buildings, structures, parking areas, existing and proposed streets, drives, open spaces, play areas and other reasonable information required by the planning commission.
- (4) The plan shall be accompanied by a plat giving full legal description of the boundaries of the property.
- (5) Other information applicable to the property as may be required by other sections of this chapter.

Staff Response: The applicant has submitted a detailed Development Plan, with accompanying engineered drawings, architectural renderings, and color and material boards that substantially conform to the above requirements. A Minor Subdivision document for Elliott Place is already on file with the City, that is recorded with Jackson County, identifying the specific property involved. There are still some outstanding review issues being addressed by staff but this Plan submitted for review is not required to be the FINAL approved plan. The final approved plan is required to substantially conform to the approved plan.

(b) The uses permitted in any Planned District shall be the same as in the corresponding underlying district unless otherwise altered as part of the development plan approved by the board of aldermen for the specific area to which each planned overlay district applies. Alterations may include allowing additional uses that the underlying district does not otherwise allow as well as prohibiting uses that the underlying district otherwise allows. For example, the board of aldermen may permit mixed residential uses or mixed residential and commercial uses in accordance with the development plan for the Planned District.

(Comp. Ord. of 4-20-2010, § 16-2)

Staff response: The submitted Plan wholly conforms to the underlying R-3 zoning's permitted uses and does not anticipate additional uses not related to the operation of a large senior oriented development.



Staff Report

Community Development
Planning and Development Services

Sec. 50-308. - Requirements and standards.

(a) The amount of signage, open space, buffer zone, yard, parking, play areas, density and height requirements shall be determined by the board of aldermen upon recommendation of the planning commission after review of the proposed plan. The board of aldermen and planning commission shall use the requirements and standards found in the corresponding district as detailed in these regulations as a guide in making their determination but may permit variances from these requirements and standards in the interest of efficient land development and utilization. In reviewing such development plan, the maximum heights of buildings and structures within such Planned District shall be as set out in the corresponding districts. It shall be permissible that front, side and rear yards may be reduced to zero in appropriate circumstances.

Staff response: The attached Development Plan and engineered drawings lay out in great detail the design of the proposed senior independent living development. Included amenities are a 2500 linear foot walking path that also connects to the path in Elliott Place, a shuffleboard court and a small community center. Unit density is 50 units over 10.7 acres which is less than 5 units per acre, extremely low density for a high density residential zone, leaving an enormous amount of open space for activities and landscaping. Additionally, the heavy tree buffering on the north and west property lines will be left mostly in place (except to accommodate safety of the walking path users). Signage will be required to conform to neighborhood entryway monument signage standards in the Sign Ordinance.

(b) In the event of any proposed substantial change or uses thereof in the development plan in any Planned District, the modified development plan must again be submitted to the planning commission and approved by the board of aldermen before such modification can be made. (Comp. Ord. of 4-20-2010, § 16-3)

Staff response: Staff believes the FINAL approved plans will substantially conform to the attached Development Plan and should not have to return for additional review and approval. Should the unlikely event of a substantial change occur, staff will immediately return the Development Plan for further review and approval to the Planning Commission and Board of Aldermen.

RECOMMENDATION

Staff recommends approval of the attached Logan Villas Development Plan with the following conditions:

1. The Final Development Plan approved by staff shall substantially conform to the Development Plan attached to this Planning Commission Staff Report, as approved by the Board of Aldermen, including all the conditions of approval listed here.



Staff Report

Community Development
Planning and Development Services

2. Continue to address minor plan review comments from City staff and the Fire District, including submission of detailed storm drainage study and retention/detention calculations, and easement documents for all public utility lines, both buried and above ground, across the property.
3. Apply for and acquire Missouri Department of Natural Resources approvals for the sewer system extension and for the Land Disturbance Permit.
4. Maple Drive through the Logan Villas Development shall remain a private street.
5. Some dumpster enclosures may be relocated by staff to create a more appealing aesthetic look.
6. Some on street parking may be modified from what is shown on the attached Plan to create safer pedestrian crossing areas and improve fire department vehicular access through the development.
7. Compliance with all applicable local, state and federal regulations, codes, ordinances, and laws.

Attachments:

- Resolution of Board of Aldermen Supporting RAGA Properties MHDC Application
- Development Plan for Logan Villas
- Architectural Drawings Including Color and Material Boards
- Engineered Drawings
- Application and Supporting Documents Including Noticing

RESOLUTION NO.: R-3334-20

A RESOLUTION SUPPORTING AN APPLICATION SUBMITTED TO THE MISSOURI HOUSING AND DEVELOPMENT CORPORATION BY RAGA PROPERTIES, LLC FOR A PROPOSED DEVELOPMENT TO BE KNOWN AS LOGAN VILLAS NEAR 9540 E. 75TH STREET

WHEREAS, the City of Raytown, Missouri has been informed by RAGA Properties, LLC ("RAGA") of a proposed independent living development for residents fifty-five years and older that will be located near 9540 E. 75th Street and proposed to be known as Logan Villas; and

WHEREAS, an application for financial assistance will be submitted to the Missouri Housing and Development Corporation by RAGA for the development of Logan Villas; and

WHEREAS, the proposed Logan Villas is an independent living development for residents fifty-five years and older that will contain approximately 50 units; and

WHEREAS, the property on which the development is proposed is zoned R-P-3 (High Density Planned Residential District) and the use of the property is consistent with the zoning; and

WHEREAS, RAGA would be required to submit a development plan which would require a neighborhood meeting and separate public hearings before the Planning Commission and Board of Aldermen; and

WHEREAS, the submittal of the Letter of Support does not bind the City to the conceptual documents that RAGA has submitted, but only confers to the State, for funding purposes only, that the City is supportive of the property being used for senior living; and

WHEREAS, the Board of Aldermen finds it is in the best interest of the City to support the application to the Missouri Housing and Development Corporation by RAGA Properties, LLC for the development of the aforesaid independent living project for residents fifty-five and older in our community, subject to City ordinances and the building permit process and in the event that any of the characteristics mentioned above should change prior to issuance of a building permit, this resolution is null and void;

NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF RAYTOWN, MISSOURI, AS FOLLOWS:

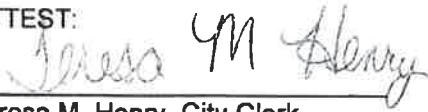
THAT the Board of Aldermen find it is in the best interest of the City to support the proposed independent living development for residents fifty-five years and older that will contain 50 units located near 9540 E. 75th Street and proposed to be known as Logan Villas; and

FURTHER THAT the Board of Aldermen finds it is in the best interest of the City to support the application to the Missouri Housing and Development Corporation by RAGA Properties, LLC for the development of the aforesaid independent living for residents fifty-five and older in our community, subject to City ordinances and the building permit process and in the event that any of the characteristics mentioned above should change prior to issuance of a building permit, this resolution is null and void.

PASSED AND ADOPTED by the Board of Aldermen and **APPROVED** by the Mayor of the City of Raytown, Missouri, this 20th day of October, 2020.

RESOLUTION NO.: R-3334-20

ATTEST:

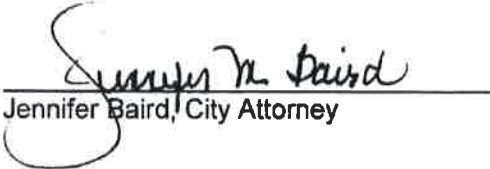


Teresa M. Henry, City Clerk



Michael McDonough, Mayor

Approved as to Form:



Jennifer Baird, City Attorney

DEVELOPMENT PLAN

LOGAN VILLAS

RAYTOWN, MO



Raga Properties is pleased to submit this development plan proposal to The City of Raytown. We hope that the submitted materials are enough for your consideration in providing Site Plan and Development plan approvals.

We do appreciate everyone's time and efforts.

Thank you!

Development Team & Contact Information

Developer/Owner:

Raga Properties / Logan Villas LP

Mike Williams, President, 417-861-0522, mwilliams@ragaproperties.com

Brenda Brand, Vice President, 417-861-0523, bbrand@ragaproperties.com

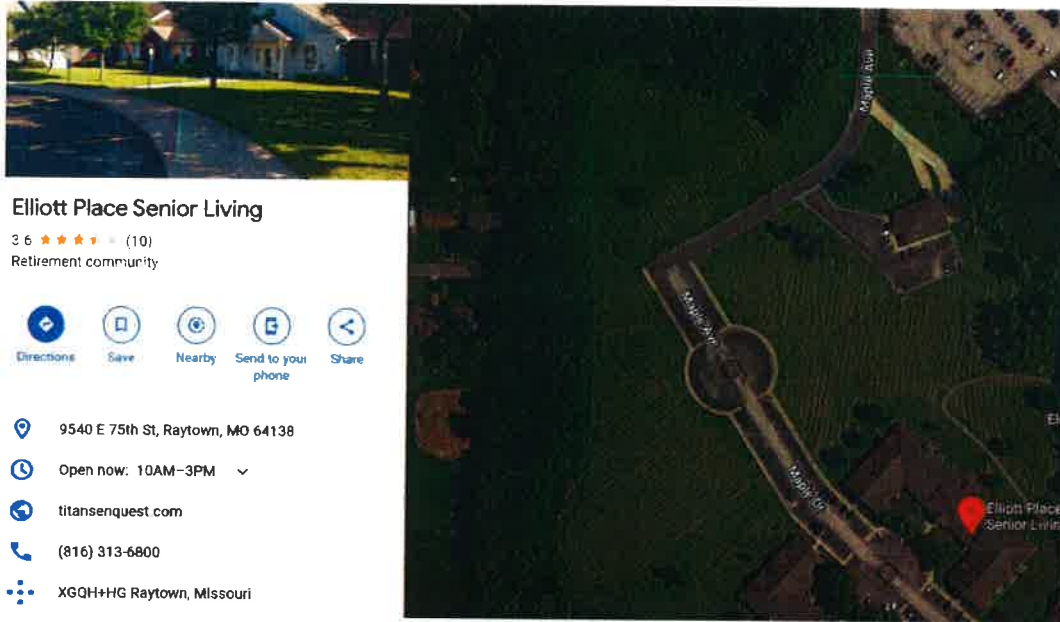
Architect: Andrew Martin, Baron Design, 417-877-9800, amartin@baron-design.com

Civil Engineer: Andrew Gribble, Kimley-Horn, 816-652-2333, andrew.gribble@kimley-horn.com

General Contractor: HBD Construction, Mike Perry and Cody Stabler mperry@hbdc.com (314) 781-8000

A. Address, Project Location Map and Legal Description:

Logan Villas will be located next door to the Elliott Place Senior Living complex at 9540 E. 75th Street:



Legal Description (subject to survey):

PROPERTY DESCRIPTION:

TRACT 1:

THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 48 NORTH, RANGE 32 WEST, IN THE CITY OF RAYTOWN, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE NORTH 89°-54'-28" EAST, ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, A DISTANCE OF 484.82 FEET, TO THE SOUTHWEST CORNER OF LOT 16 OF OCEAN HEIGHTS, A SUBDIVISION IN SAID CITY, COUNTY, AND STATE, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE NORTH 87°-05'-34" WEST, ALONG THE WEST LINE OF SAID LOT 16, A DISTANCE OF 128.80 FEET, TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST 73RD STREET, AS NOW ESTABLISHED; THENCE NORTH 89°-54'-28" EAST, ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 7.47 FEET; THENCE SOUTH 1°-36'-00" EAST, A DISTANCE OF 40.01 FEET; THENCE NORTH 89°-54'-28" EAST, A DISTANCE OF 50.01 FEET; THENCE SOUTH 1°-26'-08" EAST, A DISTANCE OF 85.02 FEET, TO A POINT ON SAID NORTH LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE CONTINUING NORTH 89°-54'-28" EAST, ALONG SAID NORTH LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, A DISTANCE OF 144.88 FEET; THENCE SOUTH 43°-45'-21" EAST, A DISTANCE OF 485.04 FEET; THENCE SOUTH 89°-54'-28" WEST, A DISTANCE OF 170.78 FEET (DEED-178.78); THENCE SOUTH 1°-25'-55" EAST, A DISTANCE OF 400.00 FEET; THENCE NORTH 89°-54'-28" EAST, A DISTANCE OF 400.00 FEET, TO A POINT ON THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE SOUTH 1°-29'-35" EAST, ALONG SAID EAST LINE, A DISTANCE OF 548.30 FEET, TO A POINT ON THE NORTH RIGHT OF WAY LINE OF EAST 79TH STREET, AS NOW ESTABLISHED; THENCE NORTH 80°-00'-00" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 888.54 FEET, TO THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A SPECIAL WARRANTY DEED, RECORDED AS DOCUMENT NO. 2007ED181147; THENCE NORTH 0°-00'-00" WEST, ALONG THE EAST LINE OF LAST SAID TRACT OF LAND, A DISTANCE OF 180.00 FEET, TO THE NORTHEAST CORNER THEREOF; THENCE NORTH 71°-33'-54" WEST, ALONG THE NORTH LINE OF LAST SAID TRACT OF LAND, A DISTANCE OF 185.27 FEET; THENCE NORTH 18°-20'-08" EAST, A DISTANCE OF 208.23 FEET; THENCE NORTH 38°-55'-52" EAST, A DISTANCE OF 484.75 FEET; THENCE NORTH 44°-34'-42" WEST, A DISTANCE OF 366.85 FEET; THENCE NORTH 38°-20'-43" EAST, A DISTANCE OF 161.25 FEET; THENCE NORTH 1°-09'-30" WEST, A DISTANCE OF 106.23 FEET, TO THE POINT OF BEGINNING. THE ABOVE DESCRIPTION CONTAINS 798,155 SQUARE FEET OR 18.348 ACRES, MORE OR LESS. (ALSO KNOWN AS LOT 2 OF THE LOT SPLIT/LOT COMBINE SURVEY RECORDED AS DOCUMENT NO. 2019ED04277.)

THE ABOVE DESCRIPTION WAS PREPARED BY THIS SURVEYOR.

TRACT 2:

NON-EXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS ESTABLISHED BY RECIPROCAL EASEMENT AGREEMENT REGARDING INGRESS AND EGRESS DATED JANUARY 13, 2016, RECORDED DECEMBER 9, 2016 AS DOCUMENT NO. 2016ED116552.

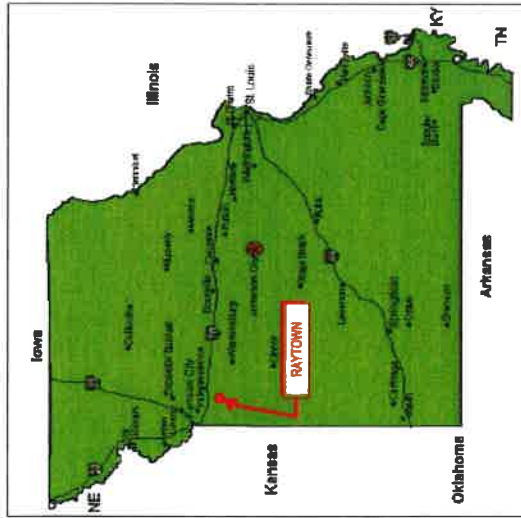
THE ABOVE DESCRIPTION HAS BEEN TAKEN FROM A COMMITMENT FOR TITLE INSURANCE, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. L20164459, EFFECTIVE DECEMBER 9, 2016 AND REVISED DECEMBER 14, 2016.

Neighbors:

Within 200' there is a mix of commercial and single-family homes as well as the Elliott Place Senior Living apartments.

Site plan, Floor plans and Elevations on the following pages:

LOGAN VILLAS SENIOR HOUSING DEVELOPMENT RAYTOWN, MO



STATE MAP

Scale: NOT TO SCALE



NORTH



AREA PLAN

Scale: NOT TO SCALE



NORTH

INDEX TO DRAWINGS

CVRL1	COVER
SP1	SITE PLAN
A101	OVERALL BUILDING PLANS
A102	2 BED / 1 BATH UNIT PLANS
A103	1 BED / 1 BATH UNIT PLANS
A104	COMMUNITY BUILDING PLAN
A201	BUILDING TYPE A ELEVATIONS
A202	BUILDING TYPE B ELEVATIONS
A203	COMMUNITY BUILDING ELEVATIONS

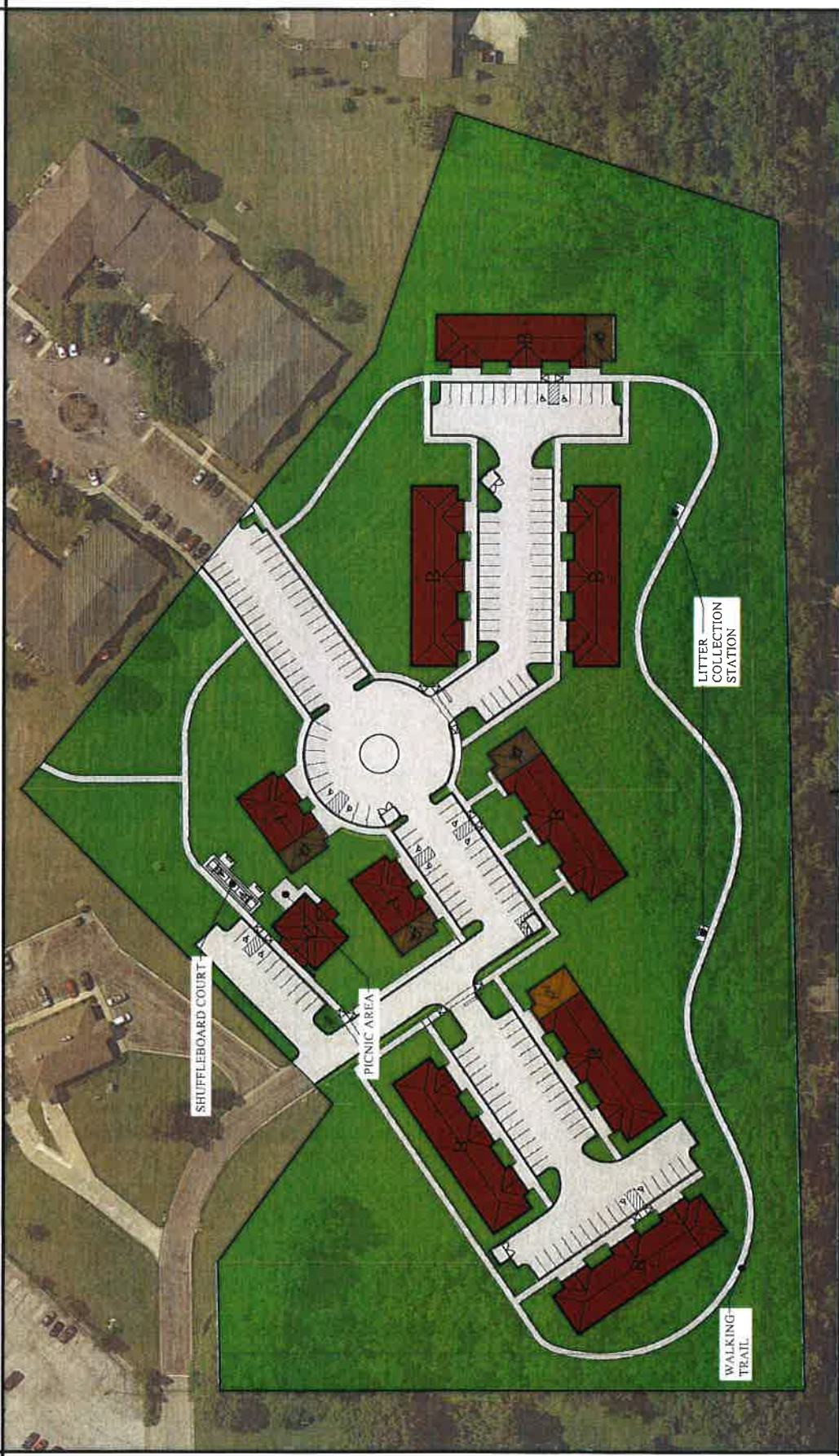
BRADON DESIGN & ASSOCIATES, LLC.

11000 Lakeside Blvd, Suite 200
Raytown, MO 64133
Tel: 816-335-7777

LOGAN VILLAS
SENIOR HOUSING DEVELOPMENT
RAYTOWN, MO



Project No.
Drawings
Approved
Date
CVRL1



NORTH

SITE PLAN

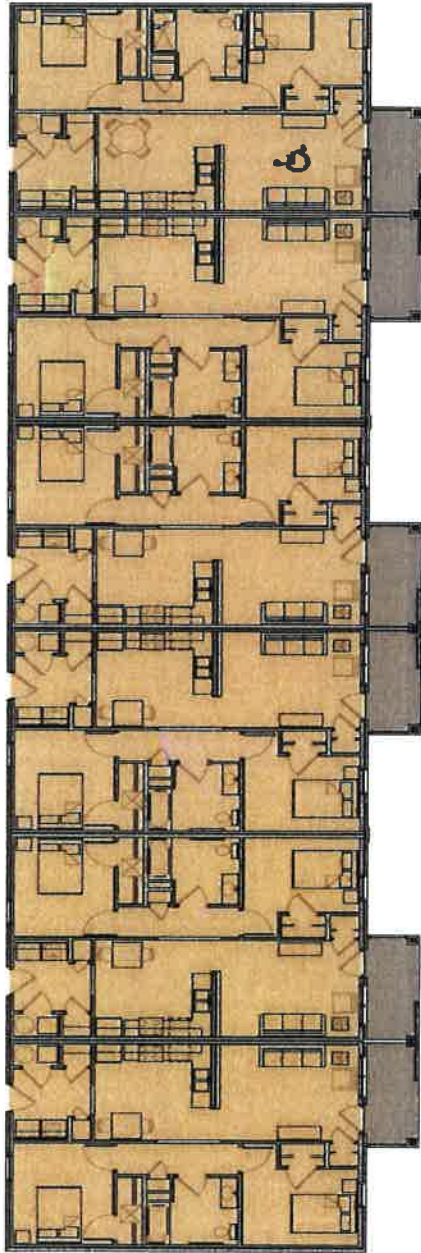
Scale: 1" = 75'-0"

Project No.	ALM
Drawn By	RAB
Approved	02/18/21
Date	
SP 1	

LOGAN VILLAS
SENIOR HOUSING DEVELOPMENT
RAYTOWN, MO

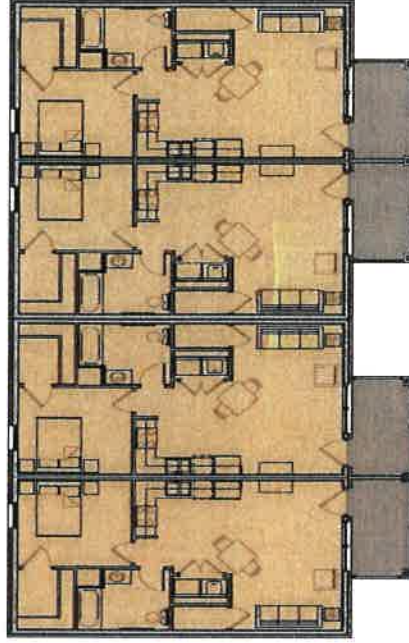
RAGA
Project Architect

BARON DESIGN & ASSOCIATES, LLC
1100 S. Main Street, Suite 200
Raytown, MO 64133
Ph: 816-377-9800 Fax: 816-377-0900



OVERALL FLOOR PLAN - BUILDING TYPE B

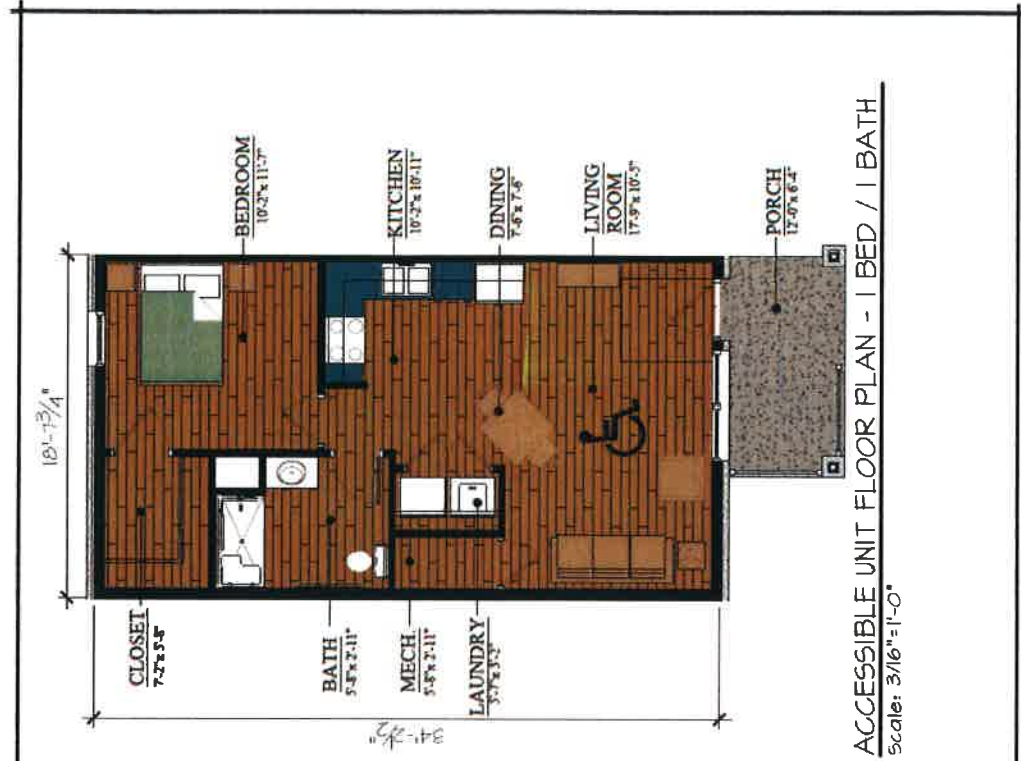
Scale: 3/32"=1'-0"



OVERALL FLOOR PLAN - BUILDING TYPE A

Scale: 3/32"=1'-0"

 <p>DAGON DESIGN & ASSOCIATES, LLC 11000 Pine Bluff Road, Suite 200 Omaha, NE 68148 PH: 402.733.8801 F: 402.733.8802</p>	<p>PROJECT NO. 11000-PINE-BLUFF-RD-001</p> <p>DATE: 11/11/11</p> <p>BY: RAGA</p>	<p>PROJECT NO. 11000-PINE-BLUFF-RD-001</p> <p>DATE: 11/11/11</p> <p>BY: RAGA</p>	<p>PROJECT NO. 11000-PINE-BLUFF-RD-001</p> <p>DATE: 11/11/11</p> <p>BY: RAGA</p>
	<p>PROJECT NO. 11000-PINE-BLUFF-RD-001</p> <p>DATE: 11/11/11</p> <p>BY: RAGA</p>		



ACCESSIBLE UNIT FLOOR PLAN - 1 BED / 1 BATH
Scale: 3/16"=1'-0"



UNIT FLOOR PLAN - 1 BED / 1 BATH
Scale: 3/16"=1'-0"

DRAGON DESIGN & ASSOCIATES, LLC. <small>Dragon Design & Associates, LLC, 100 10000 Highway 100, Suite 100 Dallas, TX 75243-1000, Tel: 469-777-0000</small>	LOGAN VILLAS SENIOR HOUSING DEVELOPMENT KATY TOWN, MO.	Project No. A-11 Design By: PAR Appointed By: PAR Date: 08/18/22 A.102



SQUARE FOOTAGE:
875 TOTAL LIVING SF -
MEASURED OUTSIDE FACE
OF STUDS

ACCESSIBLE UNIT FLOOR PLAN - 2 BED / 1 BATH
Scale: 3/16"=1'-0"



UNIT FLOOR PLAN - 2 BED / 1 BATH
Scale: 3/16"=1'-0"

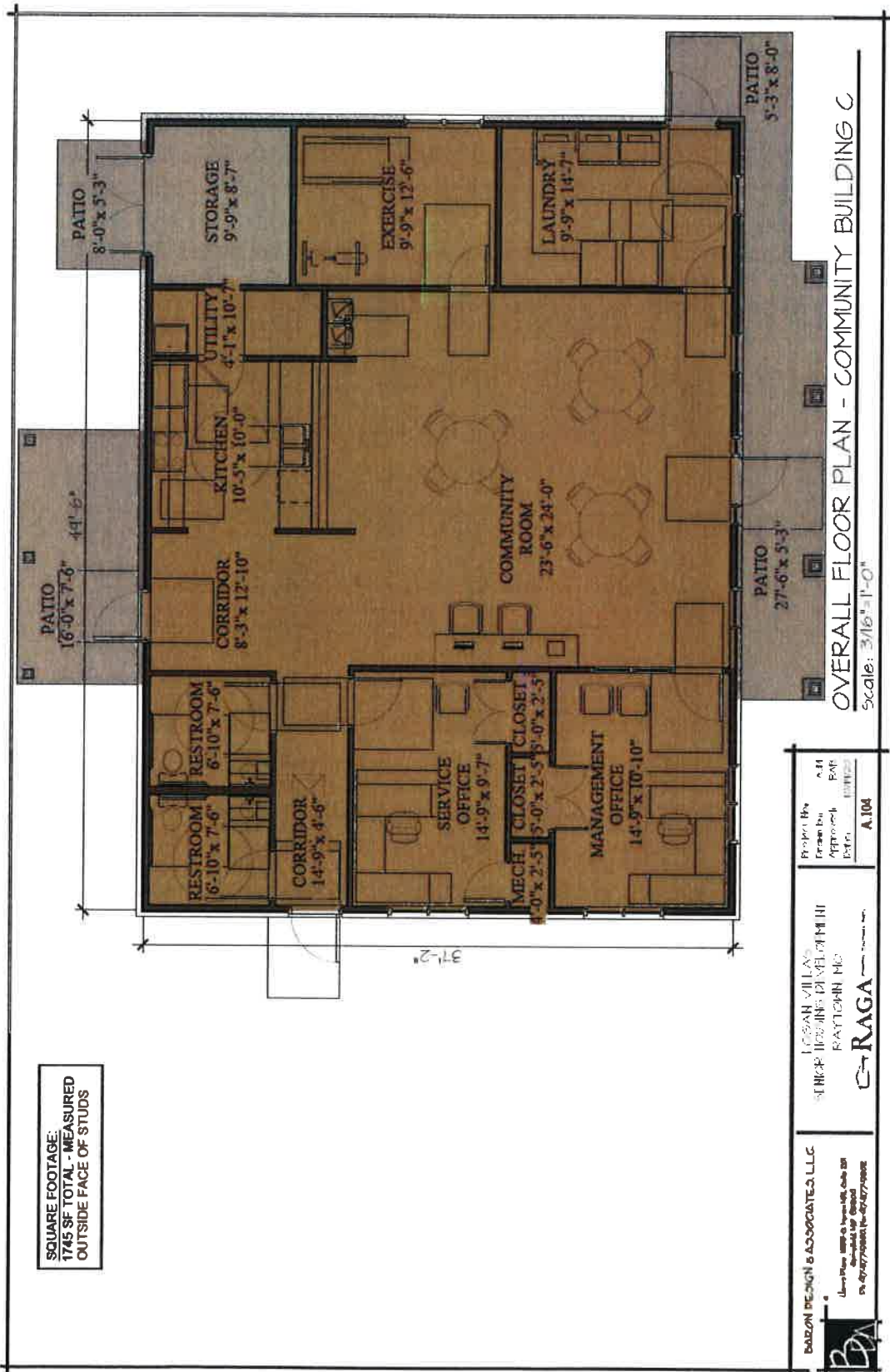
BARON DESIGN & ASSOCIATES, LLC.
11000 Park 6000, Suite 200
Dallas, TX 75248
Tel: 972.777.1000

LEON VILLALBA
ARCHITECT
FAYATOWN, MD

PROJECT No. AN
DATE 10/18/22
APP. No. KAD
DATE 10/18/22

A.103

RAGA



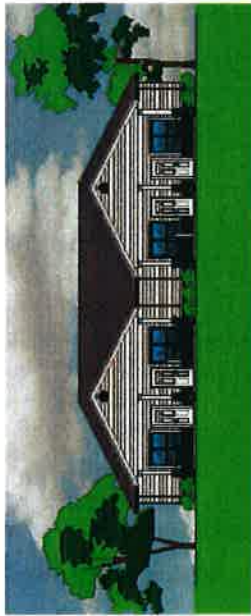
SQUARE FOOTAGE:
1745 SF TOTAL - MEASURED
OUTSIDE FACE OF STUDS

OVERALL FLOOR PLAN - COMMUNITY BUILDING C
Scale: 3/16" = 1'-0"

Project No.	A-11
Drawn by	BAF
Approved	BAF
Date	1/11/11
A.104	

LOCAN VILLAGE
ST. HICKORY RIDGE DEVELOPMENT III
BAYTOWN, MO
CRAGA

BARON DESIGN & ASSOCIATES, LLC
1100 Hwy. 100 - 1000, Suite 201
St. Louis, MO 63103
Tel: 636-771-1111



BUILDING TYPE A
FRONT ELEVATION

Scale: 1/16" = 1'-0"



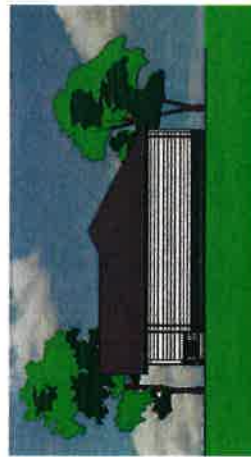
BUILDING TYPE A
LEFT ELEVATION

Scale: 1/16" = 1'-0"



BUILDING TYPE A
REAR ELEVATION

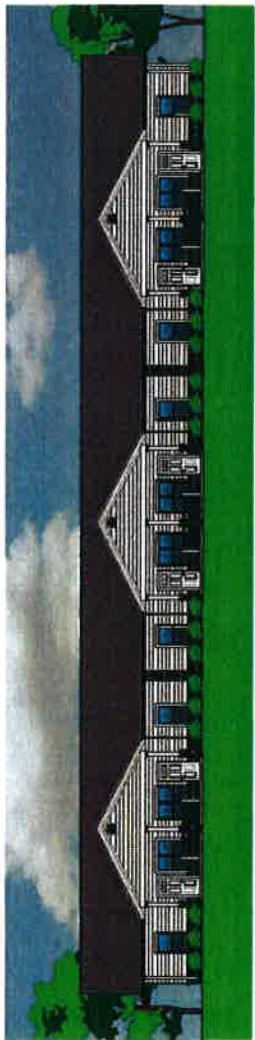
Scale: 1/16" = 1'-0"



BUILDING TYPE A
RIGHT ELEVATION

Scale: 1/16" = 1'-0"

 <p>BARDON DESIGN & ASSOCIATES, LLC <small>10000 Old Orchard Road, Suite 100 Dallas, TX 75243 Phone: 972-477-9999</small></p>	<p>10000 VILLAS SERIES HOUSING DEVELOPMENT FAYATOWN, MO</p>	<p>Project No. A-11 Drawn by: [Name] Approved by: [Name] Date: [Date]</p>
	<p>CRAGA</p>	<p>A-201</p>



BUILDING TYPE B
FRONT ELEVATION

Scale: 1/16" = 1'-0"



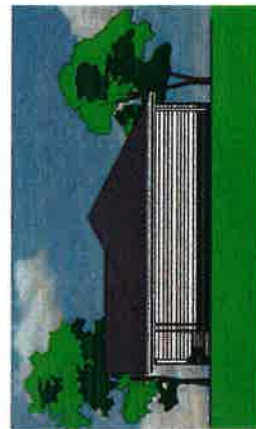
BUILDING TYPE B
LEFT ELEVATION

Scale: 1/16" = 1'-0"



BUILDING TYPE B
REAR ELEVATION

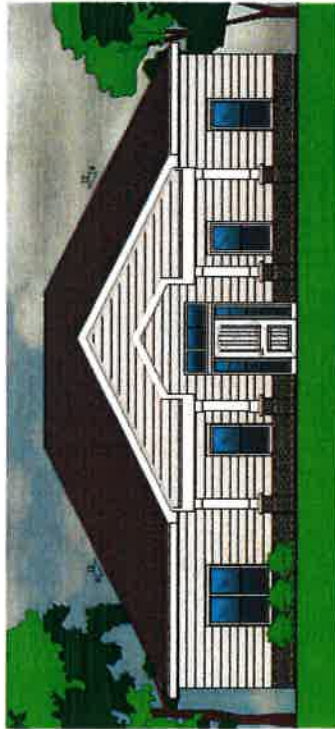
Scale: 1/16" = 1'-0"



BUILDING TYPE B
RIGHT ELEVATION

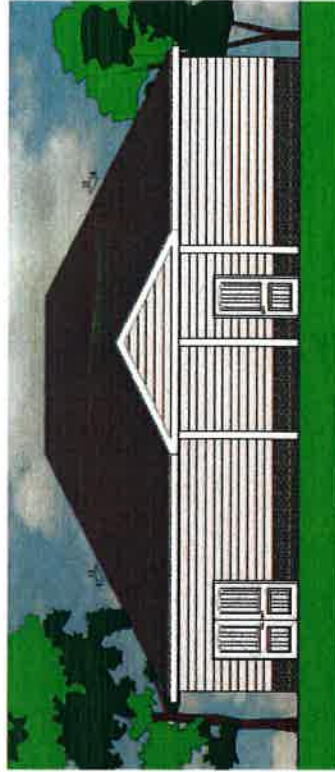
Scale: 1/16" = 1'-0"

 <p>DUSZAN DESIGN'S ASSOCIATES, LLC. <small>11000 Old County Road, Suite 200 Overland Park, KS 66204 Tel: 913.241.1111 www.duszan.com</small></p>	<p>LOGAN WILLAS SENIOR BUILDING DEVELOPER RAYTOMH, MO</p> <p> RAGA</p>	<p>Project No: A-11 Drawn by: KAS Approved: JORRES Date: A-202</p>
	<p>DESIGN</p>	



COMMUNITY BUILDING C
FRONT ELEVATION

Scale: 1/8" = 1'-0"



COMMUNITY BUILDING C
LEFT ELEVATION

Scale: 1/8" = 1'-0"



COMMUNITY BUILDING C
REAR ELEVATION

Scale: 1/8" = 1'-0"



COMMUNITY BUILDING C
RIGHT ELEVATION

Scale: 1/8" = 1'-0"

BARON DESIGN ASSOCIATES, LLC

1100 West 10th Street, Suite 201
Anchorage, AK 99501
Tel: 907.562.1100 Fax: 907.562.1101

LEGGAN VILLAS
PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

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PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

PHASE 1: BUILDING DEVELOPMENT

Project No.

Drawn by

Approved

Date

Sheet

of

DATE

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A-203

These units are being designed to the National Green Building Standard, Bronze level. Among the added features this designation carries, the units will have:

- **Regionally appropriate landscaping**
- **Construction scheduling that minimizes soil exposure**
- **Stormwater Pollution Protection**
- **Advanced framing techniques and pre-manufactured building components.**
- **Grade I insulation for exterior walls. This insulation installation is to be graded by a certified Home Energy Rater.**
- **Upgraded window glazing with .30 U-factor**
- **Energy star rated ceiling fans**
- **Energy Star bulbs in a minimum of 50% of light fixtures**
- **Energy star rated dishwasher, refrigerator, and washing machine (if provided)**
- **Energy star programmable thermostat**

- **Upgraded air sealing package. Air sealing measures will be inspected at open wall by a Certified Home Energy Rater. The Energy Rater will also perform blower door tests at the time of final inspection**
- **Low flow showerheads, faucets, and toilets**
- **All exhaust need to be vented to the outside**
- **Passive radon system installed**
- **Thoroughly sealed top and bottom structural plates as well as through wall and ceiling penetrations**
- **Ducts located in attic to be insulated with R-8. Ductwork can be insulated to R-6 if it is located within a conditioned space.**
- **Ductwork leakage will be tested. Units are allowed a maximum leakage in CFMs of 6% of the conditioned floor area**
- **Verification that wall cavity lumber materials have < 19% moisture content prior to drywall.**
- **Ductwork will be covered throughout construction in order to improve air quality within the unit**
- **Owner's manual listing green features, practices, etc.**

- **Mastic installed on all ductwork joints to minimize air leakage.**
- **Minimum 2 recycled content building materials (i.e. carpet, carpet pad, insulation, etc)**
- **Low VOC paint and adhesives**

Units with these added features will conserve energy thereby making utility bills cheaper for the residents while decreasing the carbon footprint for these units.

The exteriors of the buildings will be a combination of brick below the windows of the structure with a premium vinyl product called Alside Odessa Plus. Which has a limited lifetime warranty. The colors will be appropriate for the area selected with design architects and will be considered regionally appropriate.

The units will have high quality vinyl plank flooring, ceiling fans in all bedrooms and Livingroom's and will have in unit hookups for washer & dryer. The units will be prewired for phone, internet and cable for the tenants to use at their discretion.

The project will have a 1700 sq. foot community room and managers office. That building will contain meeting space, a kitchenette, a workout room, a library as well as a coin operated laundry room. Near the community building is an outdoor Shuffleboard Court. The project also features a walking trail as well as an outdoor BBQ area.

The project will employ a part-time service enriched coordinator. That person will be responsible for helping with each tenant's quality of life. Should the tenants need help paying the heat and air bill our service enriched coordinator will help broker a meeting with the organization(s) that can help, for instance. In addition to service enriched our project has partnered with the The Whole Person of Kansas City to assist in providing those tenants with special needs. All units are universally designed. All units will feature zero entry. Zero entry means the unit will be flush with the ground and steps are not required. The project has 5 fully accessible wheelchair units as well as the one fully equipped Audio/Visual unit to serve the blind and/or visually impaired.

Per City Staff recommendations, Logan Villas amenities will be available to the residents of Elliot Place.

The buildings themselves will have a wrap of brick up to the bottom of the windows around each building. The balance of siding will be a premium vinyl product (Alside Odyssey Plus or similar). The roof will be a 30-year heritage asphalt shingle.

The colors for the exteriors of the buildings will be something very similar to our neighbors at Elliott Place. Photo below is the building nearest where our project will be located:



Landscaping of our project will follow all applicable design standards as well as with respected to the commitments made to Missouri Housing Development Commission's promise to design to the National Association of Home Builders Green Bronze standard. The most important aspect of this design standard is regionally appropriate trees and shrubs. We have included these elements into our landscape plan. We did pay attention as well in the creation of this plan to incorporate our neighbor's (Elliott Place) landscaping so as to be somewhat similar. The photo below shows a street view of Elliott Place:



We plan to share our amenities with our friends at Elliott Place. As the site plan shows we provided access near Elliott Place for those tenants to enjoy our walking trail. Our walking trail will be constructed in such a way to provide walkers the “walking in the woods” feel while still providing enough visibility to the street and other buildings so as to provide a level of security.

Another Photo of Elliott Place for color and landscaping decisions:



Photo of the 75th Street Entrance to Elliott Place:



1. Specific Uses, location, number and arrangement of buildings (site plan inserted), parking areas, existing and proposed streets, drives, open spaces, play areas,

See enclosed site plan from our Civil Engineer and Landscape design professional.

2. The full legal description is provided on page 4 of this booklet.

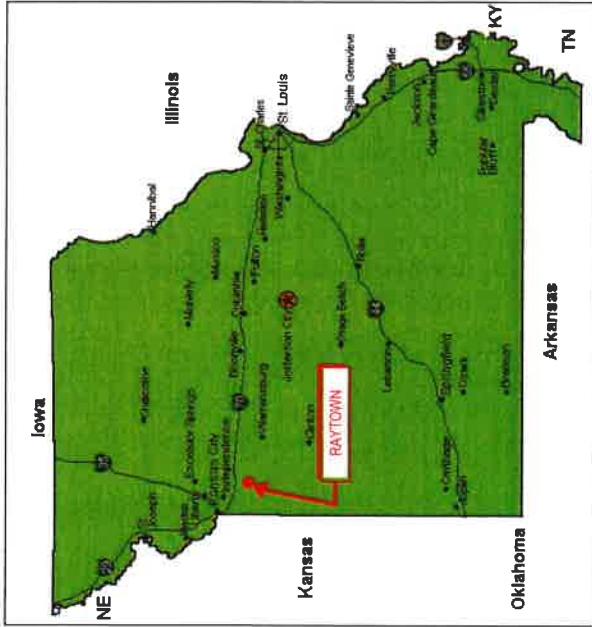
A full new ALTA survey is currently being performed and will be provided to The City of Raytown upon completion.

Full size Civil set on poster board for meeting discussion purposes

Full size Site plan on poster board for meeting discussion purposes

Full size Landscape plan on poster board for meeting discussion purposes

LOGAN VILLAS SENIOR HOUSING DEVELOPMENT RAYTOWN, MO



STATE MAP

Scale: NOT TO SCALE



AREA PLAN

Scale: NOT TO SCALE

INDEX TO DRAWINGS

- CVR.1 COVER
- SP.1 SITE PLAN
- A.101 OVERALL BUILDING PLANS
- A.102 2 BED / 1 BATH UNIT PLANS
- A.103 1 BED / 1 BATH UNIT PLANS
- A.104 COMMUNITY BUILDING PLAN
- A.201 BUILDING TYPE A ELEVATIONS
- A.202 BUILDING TYPE B ELEVATIONS
- A.203 COMMUNITY BUILDING ELEVATIONS

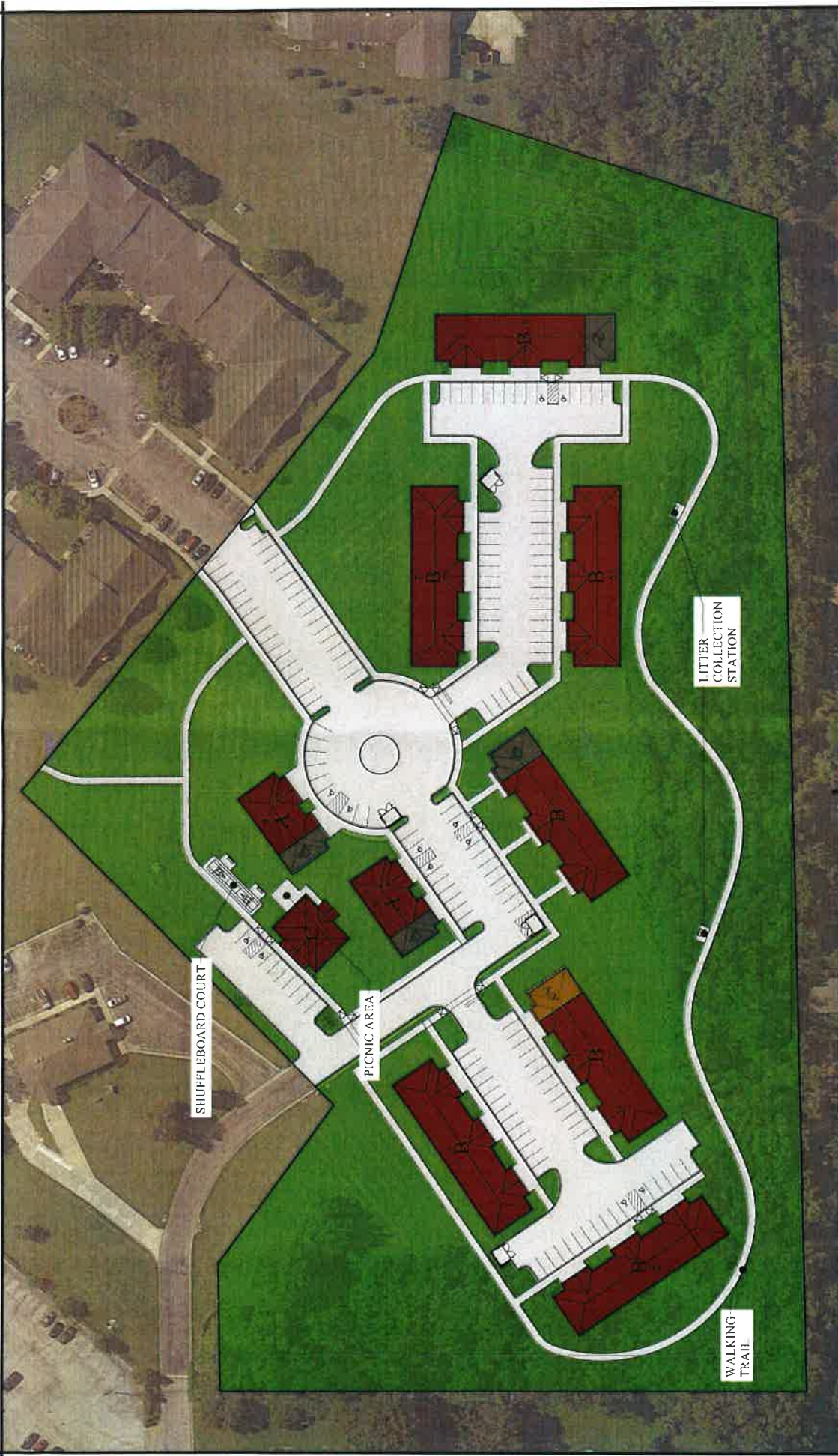
BARON DESIGN & ASSOCIATES LLC
James Plaza 1850 S Ingram Mill, Suite 201
Springfield, MO 65802
Ph. 417-979-9800 Fax. 417-979-9802

LOGAN VILLAS
SENIOR HOUSING DEVELOPMENT
RAYTOWN, MO

RAGA REGISTERED ARCHITECTS

Project No: CJM
Drawn By: RAB
Approved: RAB
Date: 10/18/20

CVR.1



SHUFFLEBOARD COURT

PICNIC AREA

LITTER COLLECTION STATION

WALKING TRAIL



SITE PLAN

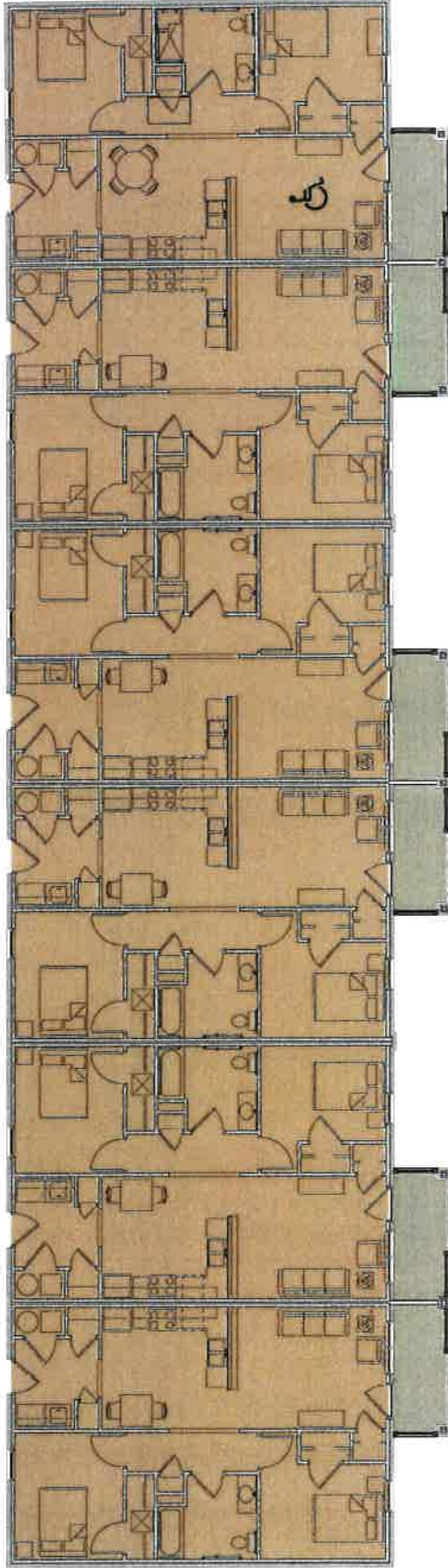
Scale: 1" = 75'-0"

Project No.:	A-18
Drawn by:	RAJ
Approved:	02/01/21
Date:	SP.1

LOGAN VILLAS
SENIOR HOUSING DEVELOPMENT
RAYTOWN, MO
RAGA Residential Construction Firm

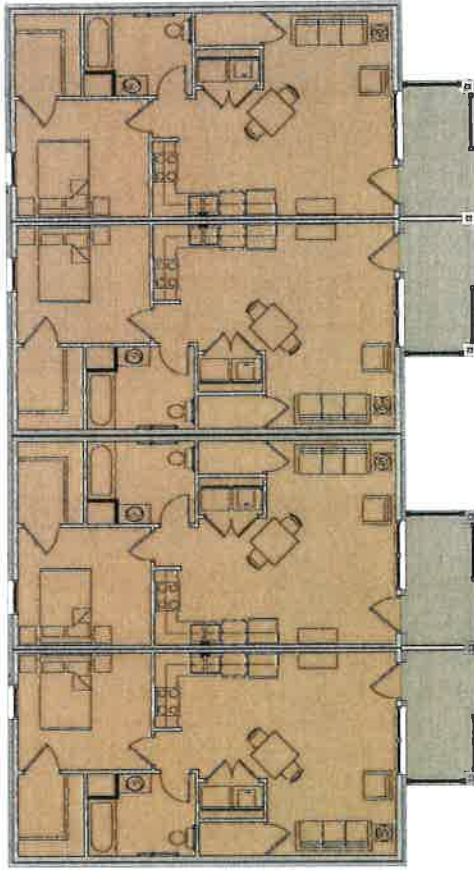
BARON DESIGN & ASSOCIATES, LLC
11111 E. Plaza, #1055, Virginia, MO, 63080-2511
Phone: 636-777-0251
Fax: 636-777-0962





OVERALL FLOOR PLAN - BUILDING TYPE B

Scale: 3/32" = 1'-0"



OVERALL FLOOR PLAN - BUILDING TYPE A

Scale: 3/32" = 1'-0"

LAYOUTS, COLORS, AND MATERIALS SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION DOCUMENTATION APPROVALS AND CONSTRUCTION MATERIAL AVAILABILITY.

BARDON DESIGN & ASSOCIATES, LLC
 Illinois Plaza 4855 S. Harper Mill, Suite 200
 Normal, IL 61751
 Ph: 277.0377/9800 Fax: 277.2977/9802

LOSAN VILLAS
 SENIOR HOUSING DEVELOPMENT
 RAYTOWN, MO

RAGA RESIDENTIAL GROUP

Project No:	ALH
Drawn by:	KB
Approved:	10/10/20
Date:	A.101

18'-7 3/4"

18'-7 3/4"

SQUARE FOOTAGE:
595 TOTAL LIVING SF.
MEASURED OUTSIDE FACE
OF STUDS



UNIT FLOOR PLAN - 1 BED / 1 BATH

Scale: 3/16" = 1'-0"

BARON DESIGN & ASSOCIATES LLC
 Laura Flynn, PLS, LEED AP, Interior Architect
 1000 N. 10th Street, Suite 200
 Phoenix, AZ 85006
 Ph: 602-877-9800 Fax: 602-877-9802

LOGAN VILLAS
 SENIOR HOUSING DEVELOPMENT
 RAYTOWN, MO
RAGA
REGISTERED ARCHITECTS

Project No: A.102
 Drawn by: RAB
 Approved: A.M.
 Date: 10/19/20

34'-2 1/2"



ACCESSIBLE UNIT FLOOR PLAN - 1 BED / 1 BATH

Scale: 3/16" = 1'-0"

LAYOUTS, COLORS, AND MATERIALS SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION DOCUMENTATION APPROVALS AND CONSTRUCTION MATERIAL AVAILABILITY.



ACCESSIBLE UNIT FLOOR PLAN - 2 BED / 1 BATH
 Scale: 3/16" = 1'-0"

SQUARE FOOTAGE:
 875 TOTAL LIVING SF -
 MEASURED OUTSIDE FACE
 OF STUDS



UNIT FLOOR PLAN - 2 BED / 1 BATH
 Scale: 3/16" = 1'-0"

LAYOUTS, COLORS, AND MATERIALS SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION DOCUMENTATION APPROVALS AND CONSTRUCTION MATERIAL AVAILABILITY.

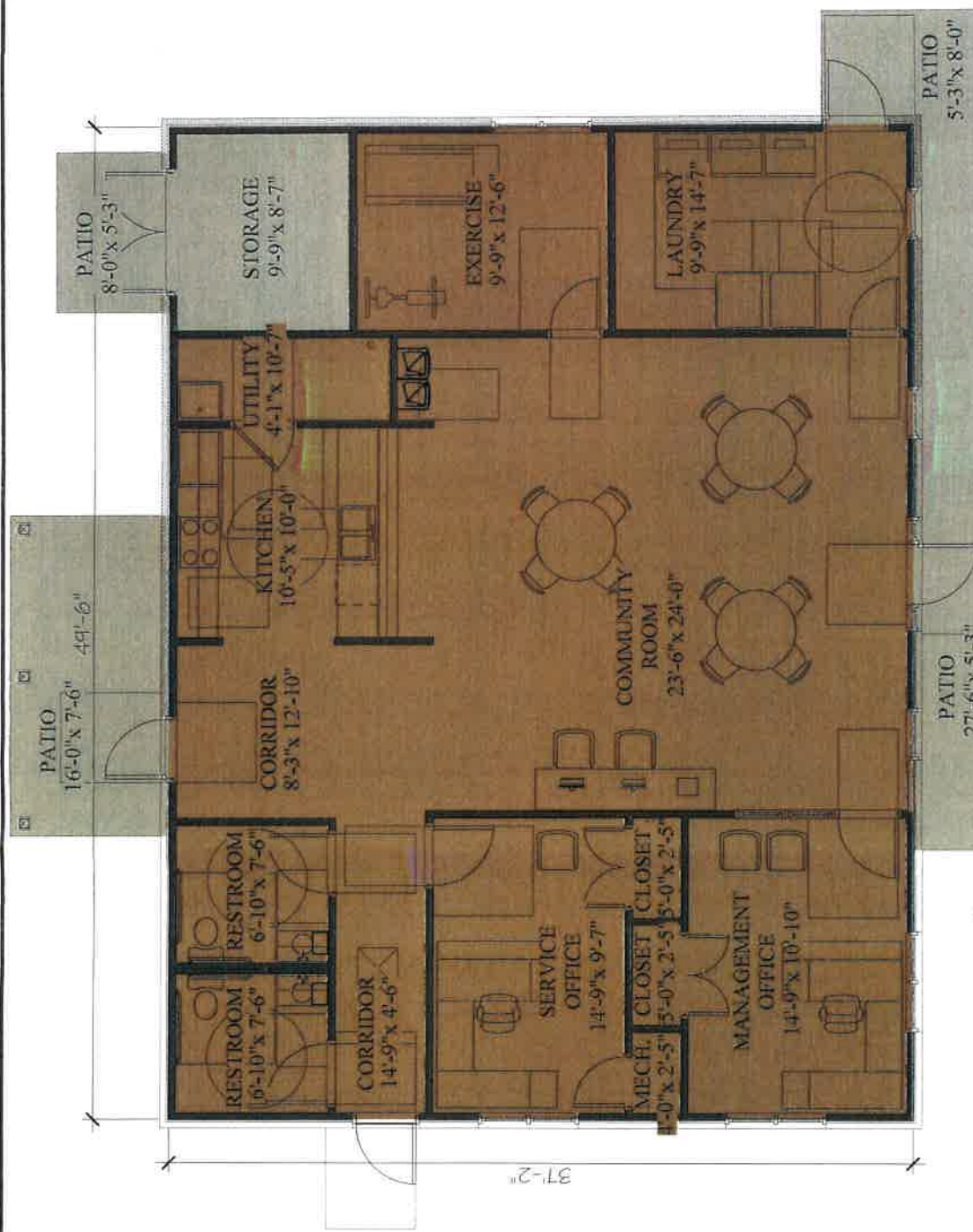
BARON DESIGN & ASSOCIATES LLC
 Jenna Payne, PDS, LEED AP, Logan Hill, Suite 204
 1000 W. 14th Street, Raytown, MO 64133
 PH: 620.477.9800 FAX: 620.477.9412

LOGAN VILLAS SENIOR HOUSING DEVELOPMENT
 RAYTOWN, MO
RAGA

Project No:	A-103
Drawn by:	AM
Approved:	RAB
Date:	10/19/20

SQUARE FOOTAGE:
1745 SF TOTAL - MEASURED
OUTSIDE FACE OF STUDS

LAYOUTS, COLORS, AND MATERIALS
SUBJECT TO CHANGE PENDING FINAL
CONSTRUCTION DOCUMENTATION
APPROVALS AND CONSTRUCTION
MATERIAL AVAILABILITY.



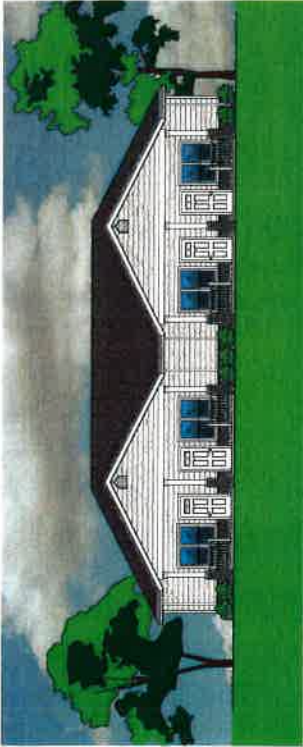
BARON DESIGN & ASSOCIATES, LLC
 11001 Piney Bluff, St. Louis, MO 63143
 Phone: 314.437.9600 | Fax: 314.437.9602

**LOGAN VILLAS
 SENIOR HOUSING DEVELOPMENT
 RAYTOWN, MO**

RAGA
 ARCHITECTURAL PARTNERS, LLC

Project No:	A104
Drawn By:	RAB
Approved:	10/19/20
Date:	A.104

OVERALL FLOOR PLAN - COMMUNITY BUILDING C
 Scale: 3/16" = 1'-0"



BUILDING TYPE A
FRONT ELEVATION

Scale: 1/16" = 1'-0"



BUILDING TYPE A
LEFT ELEVATION

Scale: 1/16" = 1'-0"



BUILDING TYPE A
REAR ELEVATION

Scale: 1/16" = 1'-0"



BUILDING TYPE A
RIGHT ELEVATION

Scale: 1/16" = 1'-0"

BARON DESIGN & ASSOCIATES, LLC.

11000 Plaza, #855, St. James, MO, 65657-2078
Raytown, MO 65064
Ph: 417-877-9800 | Fax: 417-877-9802

LOGAN VILLAS
SENIOR HOUSING DEVELOPMENT
RAYTOWN, MO



REGISTERED ARCHITECTS FIRM

Project No:

AJM

Drawn By:

RAB

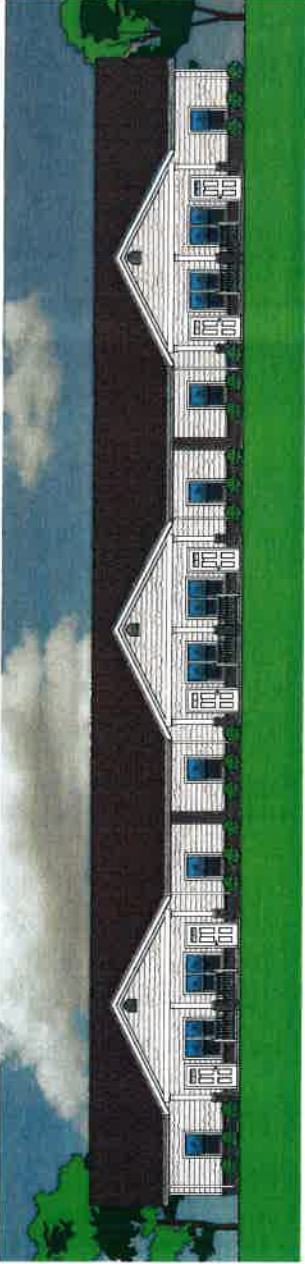
Approved:

10/14/20

Date:

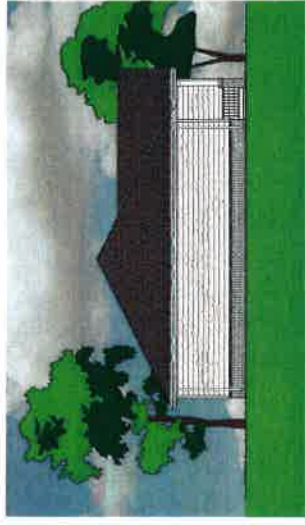
A.201

LAYOUTS, COLORS, AND MATERIALS SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION DOCUMENTATION APPROVALS AND CONSTRUCTION MATERIAL AVAILABILITY.



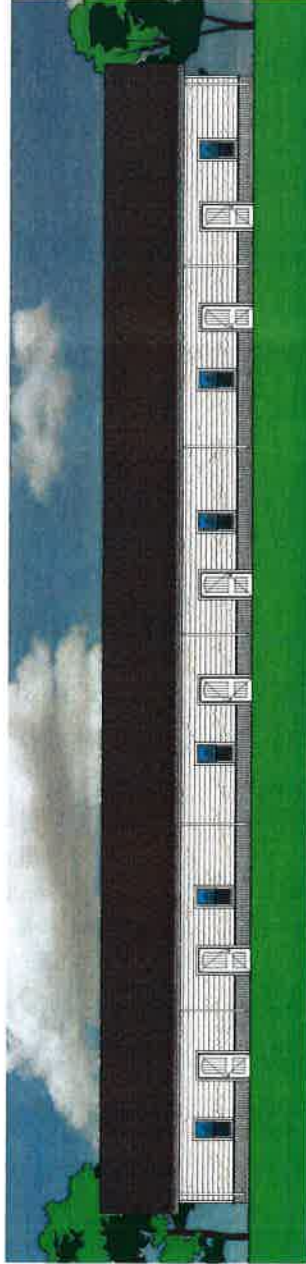
BUILDING TYPE B
FRONT ELEVATION

Scale: 1/16" = 1'-0"



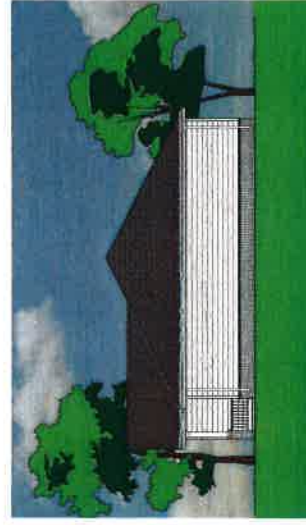
BUILDING TYPE B
LEFT ELEVATION

Scale: 1/16" = 1'-0"



BUILDING TYPE B
REAR ELEVATION

Scale: 1/16" = 1'-0"



BUILDING TYPE B
RIGHT ELEVATION

Scale: 1/16" = 1'-0"

BARON DESIGN & ASSOCIATES, L.L.C.

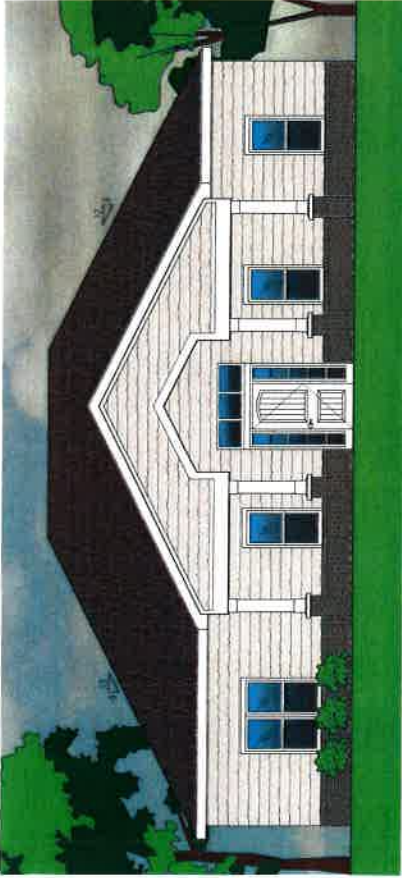
Llano Plaza 1855 S. Ingers Mill, Suite 208
Springfield, MO 65804
Ph: 417-877-9800 Fax: 417-877-9802

LOGAN VILLAS
SENIOR HOUSING DEVELOPMENT
RAYTOWN, MO



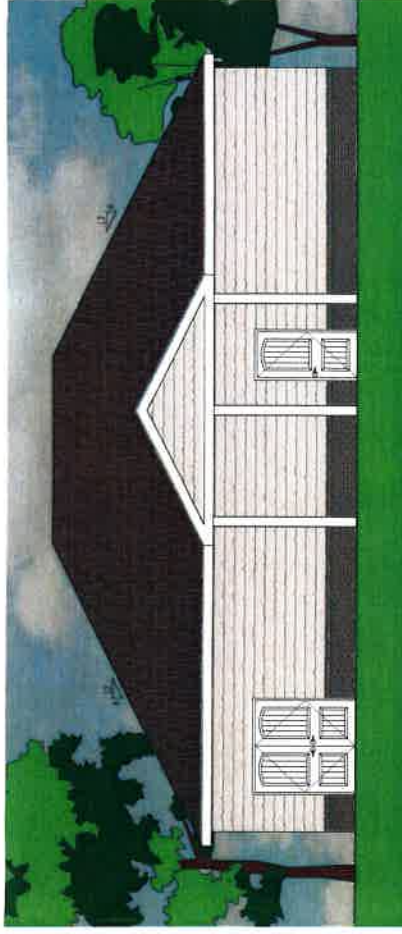
Project No: A-202
Drawn By: RAB
Approved: 10/19/20
Date: A.202

LAYOUTS, COLORS, AND MATERIALS SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION DOCUMENTATION APPROVALS AND CONSTRUCTION MATERIAL AVAILABILITY.



COMMUNITY BUILDING C
FRONT ELEVATION

Scale: 1/8" = 1'-0"



COMMUNITY BUILDING C
LEFT ELEVATION

Scale: 1/8" = 1'-0"



COMMUNITY BUILDING C
REAR ELEVATION

Scale: 1/8" = 1'-0"



COMMUNITY BUILDING C
RIGHT ELEVATION

Scale: 1/8" = 1'-0"

BARON DESIGN & ASSOCIATES LLC.

11444 E. Platte, 1855 S. James Mill, Suite 204
Springfield, MO 65804
Ph: 417-477-9800 Fax: 417-477-9802

LOGAN VILLAS
SENIOR HOUSING DEVELOPMENT

RAYTOWN, MO



RAGA ARCHITECTURE, INC.

Project No:

AJM

Drawn by:

RAB

Approved:

10/19/20

Date:

A.203

LAYOUTS, COLORS, AND MATERIALS SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION DOCUMENTATION APPROVALS AND CONSTRUCTION MATERIAL AVAILABILITY.

SW 7005
 Pure White
 Interior / Exterior
 Location Number: 255-C1



SHERWIN WILLIAMS
 PURE WHITE
 (EXTERIOR DOORS)



GAF TIMBERLINE HD
 WEATHERED WOOD
 (SHINGLES)



Platinum Gray

ALSIDE VINYL
 PLATINUM GRAY
 (VINYL LAP SIDING)



PLY GEM UNIVERSAL
 WHITE
 (SOFFIT/FASCIA)



ACME BRICK
 ALLENTOWN
 (BRICK VENEER)



AZEK TRIM
 WHITE
 (WINDOWS & TRIM)

BARDON DESIGN & ASSOCIATES, L.L.C.

11000 Plaza 1055 S Ingram Mill, Suite 201
 Springfield, MO 65802
 Ph. 417-877-9800; Fax 417-877-9802

LOGAN VILLAS
 SENIOR HOUSING DEVELOPMENT
 RAYTOWN, MO



Member, Homecare Partners

Project No. A-114
 Drawn by: RAB
 Approved: [Signature]
 Date: 02/19/2021

MATS

MATERIAL SAMPLES

Scale: NTS





PAVING AND CURB LEGEND

- STANDARD BUILT-UP ASPHALT PAVEMENT
- BLACK-DECK ASPHALT PAVEMENT
- CONCRETE SLAB
- INTERLOCKING CONCRETE PAVERS
- 4:1 CURB AND GUTTER
- 6:1 CURB AND GUTTER
- 8:1 CURB AND GUTTER

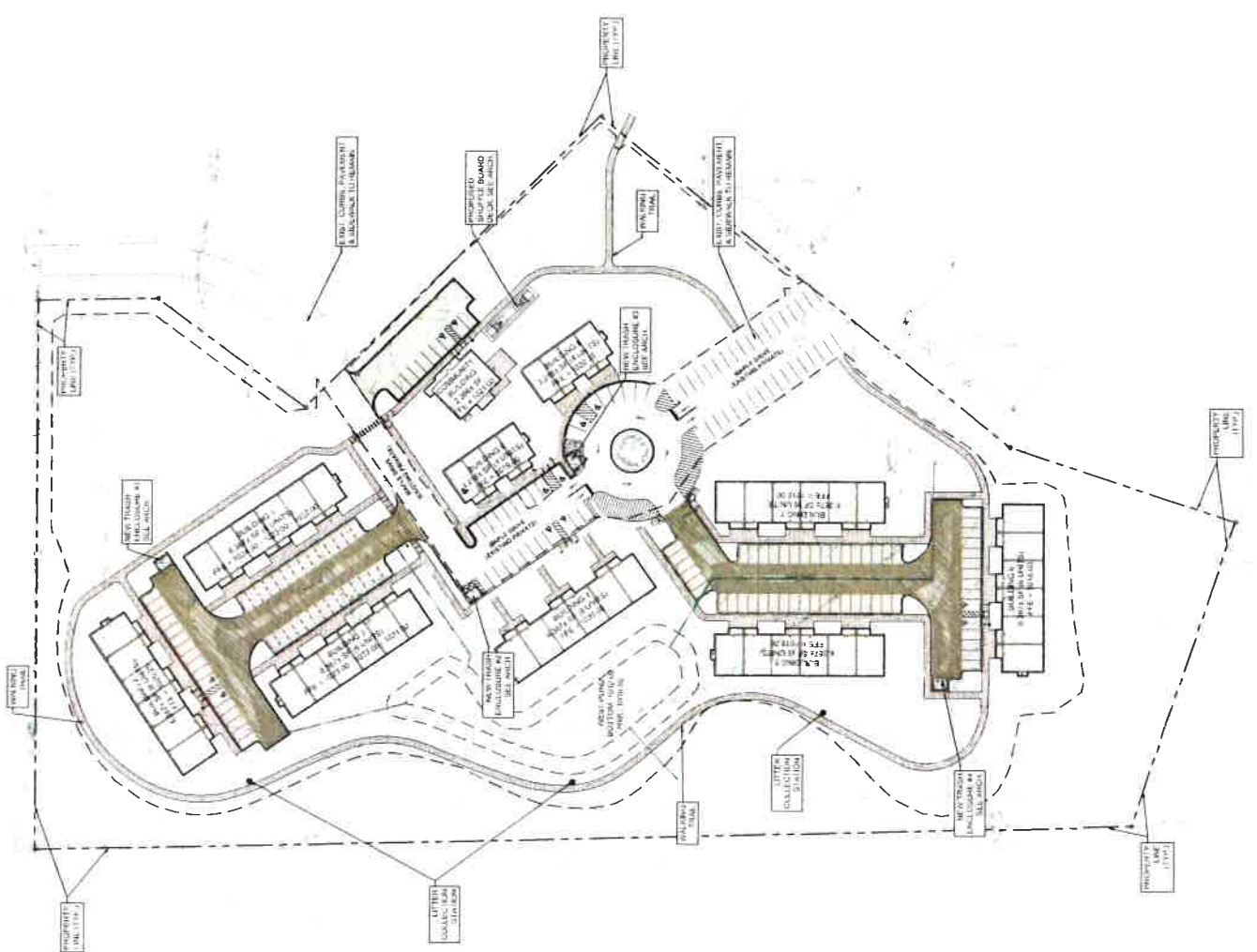
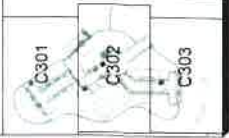
GENERAL NOTES

1. ALL DIMENSIONS UNLESS NOTED ARE TO BACK OF CURB, OR EDGE OF PAVED SURFACE, UNLESS SPECIFICALLY NOTED OTHERWISE.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.
3. ALL PAVING SHALL BE 4" MIN. UNLESS OTHERWISE NOTED.
4. ALL NEW PAVING SHALL BE INTERLOCKING CONCRETE PAVERS, UNLESS OTHERWISE NOTED.
5. ALL NEW OR REPAIR PAVING SURFACES SHALL BE 18" MINIMUM MAX. CURB CONCRETE SLAB.
6. ALL NEW PAVING SHALL BE 4:1 SLOPE UNLESS OTHERWISE NOTED. THE MINIMUM SLOPE SHALL BE 1:1 UNLESS OTHERWISE NOTED. ALL NEW PAVING SHALL BE CONSTRUCTED TO A 1/2" TOLERANCE. ALL NEW PAVING SHALL BE CONSTRUCTED WITH A 1/2" TOLERANCE.
7. ANY WORK WITHIN PUBLIC RIGHT-OF-WAY IS CONSIDERED A PUBLIC IMPROVEMENT.

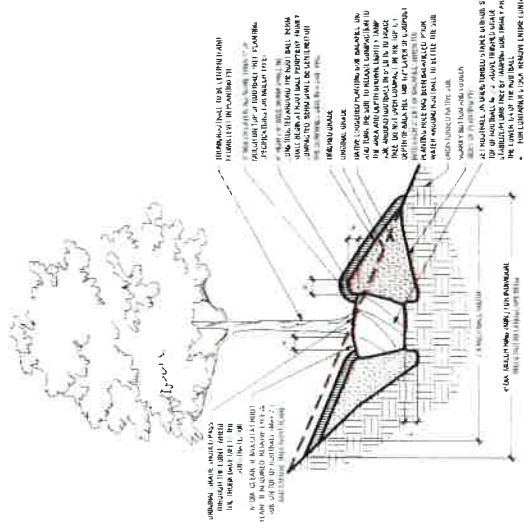
SITE DATA SUMMARY

NO. OF BUILDINGS	10
NO. OF UNITS	250
TOTAL PARKING SPACES	100
TOTAL PARKING SPACES REQUIRED	100
ADJ. RESIDENT PARKING SPACES	12
ADJ. COMMERCIAL PARKING SPACES	2
ADJ. COMMUNITY BUILDING PARKING SPACES	2
TOTAL PARKING SPACES PROVIDED	118

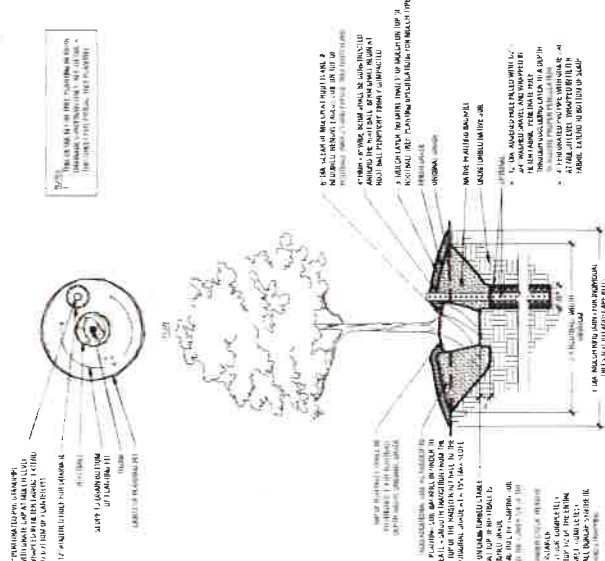
KEY MAP



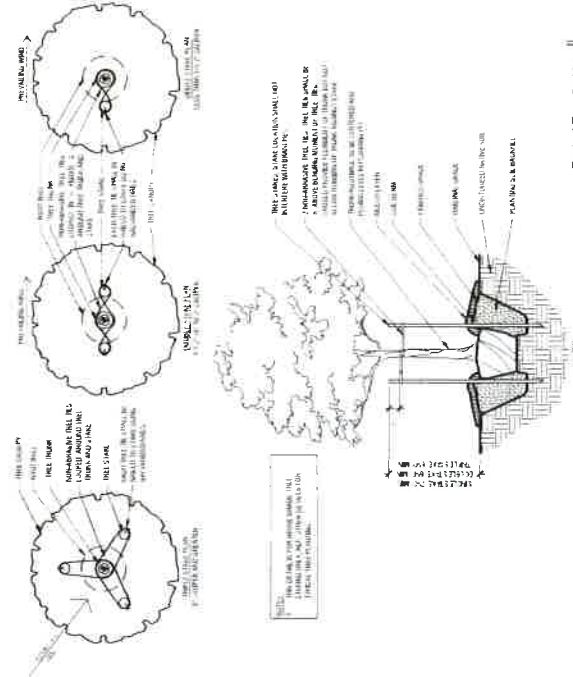
1. SEE SPECIFICATIONS FOR TREE PLANTING AND PLANTING MEDIA.
 2. SEE SPECIFICATIONS FOR TREE PLANTING AND PLANTING MEDIA.
 3. SEE SPECIFICATIONS FOR TREE PLANTING AND PLANTING MEDIA.



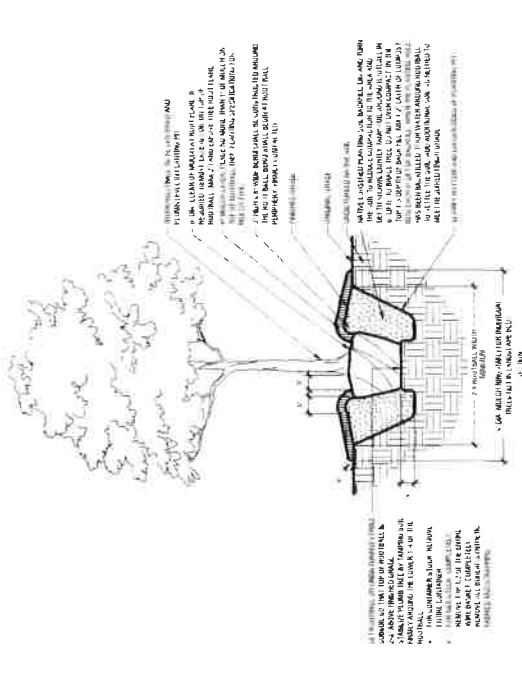
D
 Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)
 Scale: N=1/8"



C
 Tree Planting (Poor Drainage Condition)
 Scale: N=1/8"

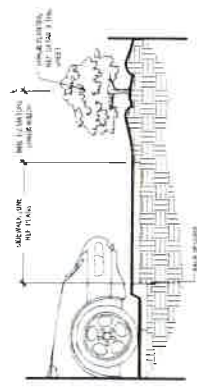


B
 Typical Tree Staking
 Scale: N=1/8"

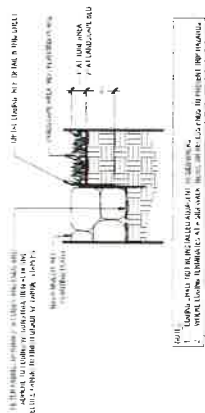


A
 Typical Tree Planting (Up to 3" Caliper)
 Scale: N=1/8"

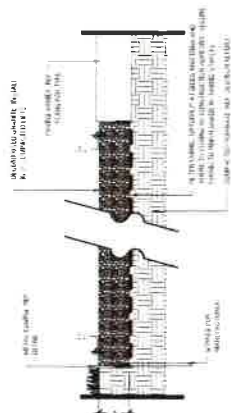
1. PLANTING AND MAINTENANCE ARE RESPONSIBILITIES OF THE USER.
 2. PLANTING AND MAINTENANCE ARE RESPONSIBILITIES OF THE USER.
 3. PLANTING AND MAINTENANCE ARE RESPONSIBILITIES OF THE USER.
 4. PLANTING AND MAINTENANCE ARE RESPONSIBILITIES OF THE USER.



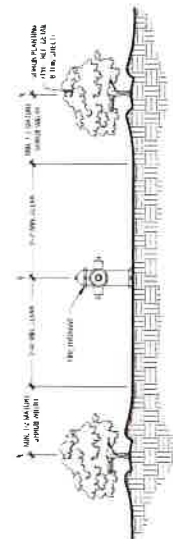
F Shrub Planting at Sidewalk
Scale: 1/8" = 1'-0"



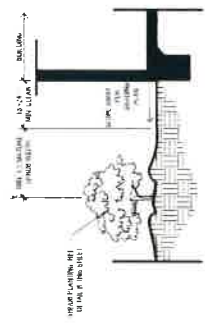
J METAL EDGING (AT ROCK COBBLE BED)
Scale: 1/8" = 1'-0"



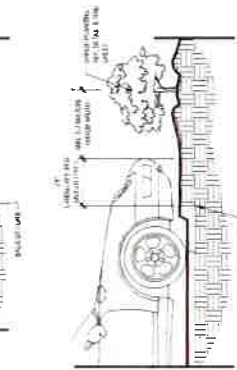
I Decomposed Granite
Scale: 1/8" = 1'-0"



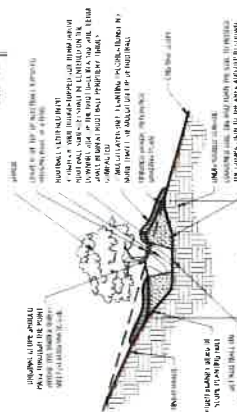
E Shrub Planting at Fire Hydrant
Scale: 1/8" = 1'-0"



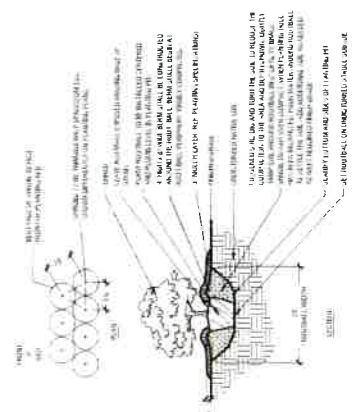
D Shrub Planting at Building Edge
Scale: 1/8" = 1'-0"



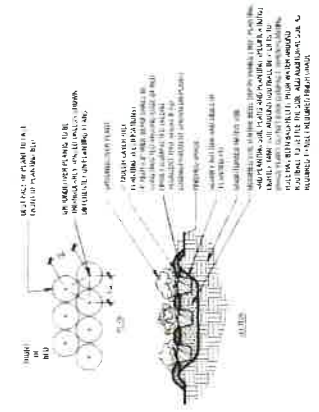
G Shrub Planting at Curb
Scale: 1/8" = 1'-0"



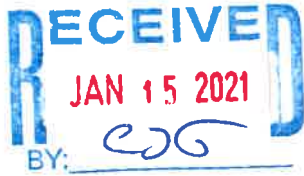
C Shrub Planting on 5-50% (20:1 TO 2:1) Slope
Scale: 1/8" = 1'-0"



B Typical Shrub Planting
Scale: 1/8" = 1'-0"



A Typical Groundcover Planting
Scale: 1/8" = 1'-0"



City of Raytown
SITE DEVELOPMENT PLAN
APPLICATION

Receipt #: _____
Date Filed: _____
Rcvd. by: _____
Fee Paid: \$300.00

APPLICATION TYPE:

PLANNED DISTRICT DEVELOPMENT PLAN

Final Site Plan

Phase of Preliminary Site Plan, if Applicable: _____

1. PROJECT NAME: LOGAN VILLAS

2. PROPERTY LOCATION /ADDRESS: 9540 E. 75TH ST. RAYTOWN, MO 64138 (45-540-03-56-00-0-00-000)

3. ZONING OF PROPERTY: ~~COMMERCIAL~~ RP-3

4. PROPOSED USE(S) (e.g. single family, multi-family, retail, office, industrial):
MULTI-FAMILY

5. LEGAL DESCRIPTION (attach if description is metes and bounds description):
SEE ATTACHED

6. APPLICANT (DEVELOPER) RAGA PROPERTIES, LLC PHONE 417-861-0522

CONTACT PERSON MICHAEL WILLIAMS FAX _____

ADDRESS 1855 S. INGRAM MILL ROAD, SUITE 201 CITY/STATE/ZIP SPRINGFIELD, MO 65804

E-MAIL MWILLIAMS@RAGA PROPERTIES.COM

7. PROPERTY OWNER LOGAN VILLAS, LP PHONE 417-861-0522

CONTACT PERSON MICHAEL WILLIAMS FAX _____

ADDRESS 1855 S. INGRAM MILL ROAD, SUITE 201 CITY/STATE/ZIP SPRINGFIELD, MO 65804

E-MAIL MWILLIAMS@RAGA PROPERTIES.COM

8. ENGINEER/SURVEYOR KIMLEY-HORN & ASSOC. INC. PHONE 816-652-2333
CONTACT PERSON ANDREW GRIBBLE, P.E. FAX _____
ADDRESS 1828 WALNUT ST, SUITE 06-100 CITY/STATE/ZIP KANSAS CITY, MO 64108
E-MAIL ANDREW.GRIBBLE@KIMLEY-HORN.COM

9. ARCHITECT BARON DESIGN & ASSOCIATES PHONE 417-877-9800
CONTACT PERSON ANDREW MARTIN FAX _____
ADDRESS 1855 S. INGRAM MILL ROAD CITY/STATE/ZIP SPRINGFIELD, MO 65804
E-MAIL AMARTIN@BARON-DESIGN.COM

10. LANDSCAPE ARCHITECT KIMLEY-HORN & ASSOC. INC. PHONE 913-318-8488
CONTACT PERSON JASON KANAK, RLA FAX _____
ADDRESS 1828 WALNUT ST, SUITE 06-100 CITY/STATE/ZIP KANSAS CITY, MO 64108
E-MAIL JASON.KANAK@KIMLEY-HORN.COM

11. OTHER CONTACTS _____ PHONE _____
CONTACT PERSON _____ FAX _____
ADDRESS _____ CITY/STATE/ZIP _____
E-MAIL _____

12. THE ACCOMPANYING DRAWINGS AND DATA MUST BE SUBMITTED AS PART OF THIS APPLICATION:
- A SITE PLAN DRAWN IN ACCORDANCE WITH THE APPLICABLE SITE PLAN ORDINANCE & DESIGN STANDARDS IF APPLICABLE.
 - TWENTY PAPER SETS OF ALL PLANS, **WHICH MUST BE FOLDED INDIVIDUALLY.**
 - ONE (1) REDUCED PAPER COPY NO LARGER THAN 8 1/2" X 11"
 - TRAFFIC STUDY AS DESCRIBED ON THE ATTACHMENT TO THIS APPLICATION FORM.
 - STORM DRAINAGE STUDY (IF REQUIRED)

APPLICATION FEE: \$300.00, PAYABLE TO THE CITY OF RAYTOWN.

The legal property owner AND the applicant, if other than the owner, must sign the application. The property owner may grant permission for the filing of the application by means of a signed and notarized affidavit to that effect.

Michael Williams
PROPERTY OWNER

Michael T. Williams, Logan Villas LP
Print name

Michael Williams
APPLICANT

Michael T. Williams, Raga Properties
Print name

INVOICE (INV-00014643) FOR CITY OF RAYTOWN

BILLING CONTACT

Mike Williams
Logan Villas LP



INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS	INVOICE DESCRIPTION
INV-00014643	01/27/2021	01/27/2021	Due	NONE

REFERENCE NUMBER	FEE NAME	TOTAL
PD-000079-2021	Amendment to PD Fee	\$300.00
7300 Maple Ln Raytown, MO 64138		SUB TOTAL \$300.00

REMITTANCE INFORMATION
City of Raytown 10000 East 59th st Raytown, MO 64133

TOTAL \$300.00

CITY OF RAYTOWN
10000 East 59th Street
Raytown, MO 64133
816-737-5000

RAGA PROPERTIES, LLC

01/11/2021

City of Raytown

20-014 Logar

DATE : 1/27/2021 11:10 AM

OPER : CD

TKBY : Community Developmen

TERM : 35

REC# : R00467593

2799

300.00

EG EnterGov 300.00

INV-00014643 300.00

- CAINVOICEFEE 300.0000

Paid By: Williams, Mike (Logan Villas LP)

2-CHK 300.00 REF:2799

APPLIED 300.00
TENDERED 300.00

CHANGE 0.00

Oakstar checking - Raga Properties

20-014 Logan

300.00

AFFIDAVIT OF PUBLICATION

STATE OF MISSOURI
COUNTY OF JACKSON

} S.S.

Page 1 of 2

Before the undersigned Notary Public personally appeared **Karie Clark** on behalf of **THE DAILY RECORD, KANSAS CITY** who, being duly sworn, attests that said newspaper is qualified under the provisions of Missouri law governing public notices to publish, and did so publish, the notice annexed hereto, starting with the **February 16, 2021** edition and ending with the **February 16, 2021** edition, for a total of 1 publications:

02/16/2021

Notice of Public Hearing

The City of Raytown Community Development Department has received an application for City approval of a Planned District Development Plan filed by Michael Williams of RAGA Properties of Springfield, Missouri. The subject property is located in approximately the 7300 and 7400 blocks of Maple Drive within an existing R-P-3, Planned High Density Residential Zoning District in Raytown, Missouri. The proposed project includes approximately 50 units of age restricted senior independent living units directly adjacent to the existing Elliott Place Senior Development. The property legal description includes the following tracts and Lots:

TRACT 1
LOT 1 OF THE LOT SPLIT SURVEY RECORDED AS DOCUMENT NO 2015E0014277, IN JACKSON COUNTY, MISSOURI.

TRACT 2
NON-EXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS ESTABLISHED BY RECIPROCAL EASEMENT AGREEMENT REGARDING INGRESS AND EGRESS DATED JANUARY 15, 2016, RECORDED DECEMBER 9, 2016 AS DOCUMENT NO 2016E0116552, IN JACKSON COUNTY, MISSOURI.

LOT 1
THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 48 NORTH, RANGE 32 WEST, IN THE CITY OF RAYTOWN, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE NORTH 89°-54'-26" EAST, A LONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, A DISTANCE OF 484.62 FEET, TO THE SOUTHWEST CORNER OF LOT 18 OF CENCI HEIGHTS, A SUBDIVISION IN SAID CITY, COUNTY AND STATE; THENCE SOUTH 1°-09'-30" EAST, A DISTANCE OF 106.23 FEET; THENCE SOUTH 36°-20'-43" WEST, A

Karie Clark

Karie Clark

Subscribed & sworn before me this 16th day of Feb., 2021
(SEAL)

Chanel Jones

Notary Public

CHANEL JONES
Notary Public - Notary Seal
State of Missouri
Commissioned for St. Louis County
My Commission Expires: August 08, 2022
Commission Number: 14397721

AFFIDAVIT OF PUBLICATION

Page 2 of 2

DISTANCE OF 161.25 FEET; THENCE SOUTH 44°-54'-42" EAST, A DISTANCE OF 366.95 FEET; THENCE SOUTH 38°-55'-52" WEST, A DISTANCE OF 464.75 FEET; THENCE SOUTH 18°-26'-06" WEST, A DISTANCE OF 208.23 FEET, TO A POINT ON THE NORTH LINE OF A TRACT OF LAND DESCRIBED IN A SPECIAL WARRANTY DEED, RECORDED AS DOCUMENT NO 2007E0161147; THENCE NORTH 71°-33'-54" WEST, ALONG SAID NORTH LINE AND ALSO ALONG THE NORTH LINE OF A TRACT OF LAND DESCRIBED IN A SPECIAL WARRANTY DEED, RECORDED AS DOCUMENT NO 2007E0161140, A DISTANCE OF 282.12 FEET, TO THE NORTHWEST CORNER OF LAST SAID TRACT OF LAND, SAID POINT ALSO BEING ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE NORTH 1°-28'-07" WEST, ALONG SAID WEST LINE, A DISTANCE OF 965.35 FEET, TO THE POINT OF BEGINNING. THE ABOVE DESCRIPTION CONTAINS 464,213 SQUARE FEET OR 10.657 ACRES, MORE OR LESS. (ALSO KNOWN AS LOT 1 OF THE LOT SPLIT/LOT COMBINE SURVEY RECORDED AS DOCUMENT NO 2015E0014277.)

A public hearing to consider this application will be held by the Raytown Planning & Zoning Commission at 7:00pm on Thursday, March 4, 2021.

The Raytown Board of Aldermen will also hold a public hearing regarding the above-described application, scheduled for 7:00pm on Tuesday, April 13, 2021.

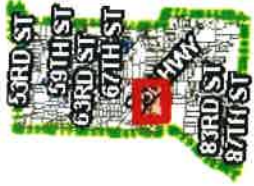
All public hearings normally take place in the Council Chambers at Raytown City Hall located at 10000 E. 59th St. Raytown, MO 64133, however, with the COVID-19 pandemic protocols in place in Jackson County, Missouri, these meetings are presently being held on Zoom online meeting connections. Please continue to watch the City of Raytown official website for

connection information posted directly on the first page of the meeting agendas closer to the meeting date or contact City Community Development staff at the contact information listed below.

The public is invited to attend the public hearing to ask questions and provide comment regarding this application. Additional information regarding this application can be obtained from the Department of Community Development located in Raytown City Hall at 10000 East 59th Street, by telephone at (816) 737-6059 or by e-mail at chrisg@raytown.mo.us.

If you will require any special accommodation in order to attend either of these public hearings, please notify the Department of Community Development at Raytown City Hall at (816) 737-6014 no later than 48 hours prior to the applicable public hearing date.
11967440 Jackson Feb. 16, 2021

Raytown, MO



- Legend**
- Road
 - Parcel
 - City Limit



Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries. THIS MAP IS NOT TO BE USED FOR NAVIGATION



909.6

Tenant Letters to: { 7220 Oxford RT 64133
 9304 Vaughn RT 64133
 7415 Elm RT 64133

45-530-10-12	Don Eubanks	7404 Elm, Raytown	64133
45-540-03-50-03	REAP	9300 E. 75 th St.	Raytown 64138
50-02	City of Raytown		
57	Elliott Place Investors LLC	9540 E. 75 th Place, Raytown	64138
		c/o Accounts Payable	
52	Raytown Land LLC	9001 E. Colonial Dr., Orlando FL	32817
15-530-19-16	Gregory Heights Property Owners	PO Box 9346, Raytown	64133
15-540-03-51-01	Raytown Land LLC		
54	Raytown Land LLC		
53	Elliott Place Investors LLC	Attn: Kevin Kasseff El Segundo, CA 2301 Rosecrans Ave, Suite 4170	9024
05	Lee & Tammie Davis	7224 Maple, Raytown	64133
06	Linda O'Dell	9300 E. 73rd St. Raytown	64133
21	Tonie Jean May	9309 E. 73rd St., Raytown	64133
20	Sharon Innis	9305 E. 73rd St Raytown	64133
19	Samantha Young	9301 E. 73rd St Raytown	64133
18	OH Squared LLC	1067 NW High Point Dr. Leeds Summit MD	6406
17	Mark Young	7216 Oxford, Raytown MD	64133
15-530-19-01	June Mattes	9305 Vaughn Ave.	RT 64133
02	Charles Oyster	9303 Vaughn Ave.	RT 64133
03	Shawnetta Nelson	9301 Vaughn Ave.	RT 64133
01-26	Sandra Davis	9306 Vaughn Ave.	RT 64133
25	CSMA BLT LLC	1850 Parkway Pl. Ste. 900 Marietta, GA	30066
24	Robert & Kelli Wright	9302 Vaughn Ave.	RT 64133
21	Dennis Bellia LLC	5873 50 th Ave., Delta BC	V4K21 Canada
20	Hector Ortiz	7411 Elm St.,	RT 64133
19	Jeffrey Randol	7409 Elm St.,	RT 64133
18	Deborah Steakle	7407 Elm St.,	RT 64133
17	Lawrence Sheely	7405 Elm St.,	RT 64133
16	Robert Hilliard	7403 Elm St.,	RT 64133
15	Helen Waldram	7401 Elm St.	RT 64133

Your're Invited!

Logan Villas Neighborhood Meeting

Zoom Presentation Thursday, February 18 at 6:30

You'll learn more about our planned senior, retirement community that will look similar to and serve senior and disabled people with senior friendly housing, much like our neighbors Elliott Place Senior Living. Our project location will be right next door to Elliott Place at 9540 E. 75th Street. See map enclosed.

The purpose of the meeting is to begin the efforts for our project becoming good neighbors for the entire community. We want to assure you that in order for our dream to become a reality we want to listen to the community and to design and develop a project that becomes not only an asset but also a community that will and stay "Good Neighbors"!

We hope you can attend our meeting. If not, this meeting will be recorded and can be emailed to you to listen to and provide emailed comments to Mike Williams, mwilliams@ragaproperties.com Please email to request the recorded version be emailed to you.

Welcome any and all comments. We want to become your new GOOD neighbors.

Thank you.

Michael Williams is inviting you to a scheduled Zoom meeting.

Thursday, February 18th at 6:30pm

Join Zoom Meeting

<https://zoom.us/j/98695792640>

Meeting ID: 986 9579 2640

One tap mobile

+13126266799,,98695792640# US (Chicago)

+16465588656,,98695792640# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington DC)

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

Meeting ID: 986 9579 2640

Find your local number: <https://zoom.us/u/acqzasnVa>

Michael T. Williams

President of Development



February 9, 2021

Dear Property Owner/Tenant:

Notice of Neighborhood Meeting and Public Hearings in Your Area

The Raytown Community Development Department is processing an application to approve a new Planned District Development Plan for the undeveloped Phases 2 and 3 of Elliott Place located in the 7300 to 7400 block of Maple Drive in Raytown, Missouri. This Plan anticipates construction of 50 new 55 and over age restricted independent living units. As a nearby owner or tenant, you are entitled to appear and provide comment at any of the public hearings on this matter or to provide written comment.

The applicant will be holding a neighborhood information meeting on zoom at 6:30 PM on Thursday, February 18, 2021, to which you are invited to discuss the application directly with them. City staff will not be present at this time. If you have any concerns or need more information about the application, this is a good meeting to attend. The Zoom connection information is included with this mailing on a separate sheet for both computer and phone.

A public hearing to consider this application will be held by the Raytown Planning & Zoning Commission **at 7:00 PM on Thursday, March 4, 2021.** The full packet and agenda should be available for view on the City of Raytown website on February 26, 2021. *This meeting will be held on Zoom and the connection information will be posted on the Agenda for the meeting, so continue watching the City's official website for this information if you wish to comment during this hearing.*

The Raytown Board of Aldermen will also hold a public hearing regarding the above-described application, tentatively scheduled for **7:00 PM on Tuesday, April 13, 2021.** *This meeting will be held on Zoom and the connection information will be posted on the Agenda for the meeting, so continue watching the City's official website for this information if you wish to comment during this hearing.*

Until further notice, all public hearings during the present COVID-19 Pandemic crisis are scheduled to take place on Zoom remote connections and not in the Council Chambers at Raytown City Hall located at 10000 E. 59th St. Raytown, MO 64133.

The public is invited to attend the online public hearings to ask questions and provide comment regarding this application. Additional information regarding this application can be obtained from the Department of Community Development located in Raytown City Hall at 10000 East 59th Street, by phone at (816) 737-6059 or by e-mail at chrisg@raytown.mo.us.

If you will require any special accommodation (i.e., qualified interpreter, large print, reader, hearing assistance) in order to attend either of these online public hearings, please notify the Department of Community Development at Raytown City Hall at (816) 737-6014 no later than 48 hours prior to the applicable public hearing date.



Chris Gilbert

From: Mike Williams <mwilliams@ragaproperties.com>
Sent: Thursday, February 18, 2021 7:06 PM
To: Chris Gilbert
Cc: bbrand@ragaproperties.com
Subject: Neighborhood Meeting 2/18/2021
Attachments: Logan Villas Development Plan Approval Presentation 2.18.2021mw.pdf

Chris:

The only person that joined our Zoom meeting tonight, besides myself and co-worker Brenda Brand, was Rae Letterman, Elliott Place.

She's 100% in favor. I spent 30 minutes with her discussing our project and how our project and hers can benefit each other.

Essentially, nobody showed up for this Zoom Neighborhood Meeting.

The 3 of us walked through my presentation (attached). She asked a few questions about Community Room etc.

I will send the meeting recording later. It takes several minutes for me to be able to access it and send you a link.

The attached presentation is what I'll use for Planning and Zoning March 4th. Let me know if you think it needs some additional material.

I will be out tomorrow, so if you email, I'll reply Monday.

Thanks for everything!

Michael T. Williams

President of Development



1855 S. Ingram Mill Road, Suite 201
Springfield, MO 65804
Direct: 417-861-0522
Fax: 417-877-9802